

# YOUR Inspection Report



*When Experience Counts*

**FOR THE PROPERTY AT:**

175 Some Street  
Any Town, NC

**PREPARED FOR:**

JOE CLIENT  
BETTY CLIENT

**INSPECTION DATE:**

Tuesday, February 8, 2022

**PREPARED BY:**

Chris Hilton, NC 1069



Black Cat Inspection Services, LLC  
190 Charlois Boulevard  
Winston-Salem, NC 27103

336-816-5978

336-816-7756

<https://www.blackcatinspectionsservices.com>  
[office@blackcatinspectionsservices.com](mailto:office@blackcatinspectionsservices.com)



March 1, 2024

Dear Joe Client and Betty Client,

RE: Report No. 6580  
175 Some Street  
Any Town, NC

At your request an inspection of the above property was performed on the date set forth on the report document. I am pleased to submit the enclosed report. This report is my professional opinion based on a visual inspection of the accessible components of the property.

Please understand that there are limitations to this inspection. While I can reduce your risk of owning, selling or purchasing, I cannot eliminate it, nor can I assume it. Even the most comprehensive inspection cannot be expected to reveal every condition you may consider significant to ownership. In addition to those improvements recommended in my report, I recommend that you budget for unexpected repairs. On average, setting aside roughly one percent of the value of your property on an annual basis should be sufficient to cover unexpected repairs. Don't miss the letter about perspective in the addendum of this report.

Your attention is directed to your copy of the Pre-Inspection Contract. It more specifically explains the scope of the inspection and the limit of our liability in performing this inspection. I am not associated with any other party to the transaction of this property, except as may be disclosed to you.

Thank you for selecting our company. I appreciate the opportunity to be of service. Should you have any questions about the general condition of the property in the future, I will be happy to answer these. There is no fee for this telephone or e-mail consulting. My fees are based on a single visit to the property. If additional visits are required for any reason, additional fees will be assessed.

Sincerely,

Chris Hilton  
on behalf of  
Black Cat Inspection Services, LLC

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# SUMMARY

Report No. 6580

175 Some Street, Any Town, NC February 8, 2022

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SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
MOLD	RECALLS	SITE INFO	APPENDIX	REFERENCE					

This report is intended to be viewed and printed in color. If you are not viewing this report in color you are not receiving the full benefit intended. Note that the Internet Links in this report. When viewing your report, on a computer while online, clicking on these links will access a wealth of information on the particular subject if you are interested in additional information. Note that all items and photos in this report are numbered for easy reference.

All components designated for inspection in the standards of practice of the North Carolina Home Inspector Licensing Board are inspected (provided they are present), except as may be noted in the Limitations of Inspection sections within this report or in the pre-inspection contract. Estimating cost of repair is not included as part of this inspection. The methods, materials and cost of repairs must come from the contractor or specialty tradesman who may do the repairs. Never make decisions based on estimated cost of repairs from anyone who cannot do the repair for that price. The inspector may list cost estimates as "Minor" less than \$500.00 or "Major" more than \$500.00 provided he has an opinion.

(Note: This inspection has been conducted pursuant to the contract with the client(s) and the standards of practice of the North Carolina Home Inspector Licensing Board. It is the responsibility of the client(s) and their agent to determine how this report might relate to the Real Estate Contract. Any areas of uncertainty regarding the Real Estate Contract should be clarified by a attorney.)

This inspection is visual only. Additional illumination of areas which are inadequately illuminated is limited to the use of a standard flashlight. Representative samples of building components are viewed in areas that are accessible at the time of the inspection. The occupants personal belongings are not moved for obvious reasons. No destructive testing or dismantling of building components is performed.

It is the goal of the inspection to put the client in a better position to make decisions related to their transaction, safety, function, performance and maintenance of your property. This inspection and report is not intended to be a method of transferring risk from the client or owner to the inspector. All potential problems cannot be discovered during the few hours of a home inspection. Not all improvements will be identified during this inspection. Unexpected repairs should still be anticipated. The inspection should not be considered a guarantee or warranty of any kind. Be aware that contractors and other third party opinions almost always differ from ours.

It is not possible to research and categorize all recalls, class action suits, and such concerning appliances, furnaces, building materials etc. For current information, you are directed to the Consumer Products Safety Commission at <http://www.cpsc.gov/>.

Please refer to the pre-inspection contract for a full explanation of the scope of the inspection, Areas to Be Observed and Conditions Reported and Specific Limitations and Exclusions.

## Note:

1. It is the responsibility of the client(s) to read this report in its entirety, and to contact Chris D. Hilton if there is disagreement with the contract, inspection, and/or report before the real estate transaction is closed.
2. It is recommended that all concerns expressed in this report and the components/systems related to these concerns be evaluated/inspected and repaired as needed by licensed contractors/ professionals completely addressed to your satisfaction before any transactions are finalized relating to this property. Further evaluation and inspection is recommended by a properly licensed professional of the entire system or component for additional concerns that might be hidden or outside this inspectors area of expertise or the scope of this inspection.

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3. Evaluation of repairs by properly licensed professional is recommended prior to finalizing your transaction.
4. Items can be damaged after the time of the inspection. Be sure to check for damage before finalizing transactions.

## IMPROVEMENT RECOMMENDATION HIGHLIGHTS / SUMMARY

These highlights (summary) are provided as required by the North Carolina Home Inspector Licensing Board and are not a substitute for reading the entire report.

The following is a summary of systems or components that are not functioning as intended or which adversely affect the habitability of the dwelling; or appears to warrant further investigation by a specialist or requires subsequent observation. "This summary page is not the entire report. The complete report may include additional information of interest or concern to you. It is strongly recommended that you promptly read the complete report. For information regarding the negotiability of any item in this report under a real estate purchase contract, contact your North Carolina real estate agent or an attorney." Other significant improvements, outside the scope of this inspection, may also be necessary. Please refer to the body of this report for further details on these and other recommendations.

NOTE: READ ALL OF BOTH THIS INSPECTION REPORT AND THE NORTH CAROLINA REAL ESTATE CONTRACT PRIOR TO CLOSING YOUR TRANSACTION.

## Roofing

### FLAT ROOFING \ Rubber single ply

**Condition:** • [Openings at seams or flashings](#)

**Implication(s):** Chance of water damage to structure, finishes and contents

**Location:** Left Exterior Wall

**Task:** Repair

**Time:** Immediate

**Condition:** • [Ponding](#)

**Implication(s):** Chance of water damage to structure, finishes and contents

**Location:** Various Flat Roof

**Task:** Repair

**Time:** Immediate

## Exterior

### ROOF DRAINAGE \ Gutters

**Condition:** • Gutter issues being fixed by seller - per the buyer

**Implication(s):** Water Damage/Drainage Problem

**Location:** Various Exterior

**Task:** Further Evaluation

**Time:** Immediate



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## ROOF DRAINAGE \ Downspouts

**Condition:** • [Discharge too close to building](#)

**Implication(s):** Chance of water damage to structure, finishes and contents

**Location:** Left Yard

**Task:** Repair

**Time:** Immediate

## WALLS \ Soffits (underside of eaves) and fascia (front edge of eaves)

**Condition:** • [Rot](#)

**Implication(s):** Weakened structure

**Location:** Right Side Porch

**Task:** Further Evaluation

**Time:** Immediate

**Condition:** • [Loose or missing pieces](#)

**Implication(s):** Chance of water damage to structure, finishes and contents | Chance of pests entering building

**Location:** Various Exterior

**Task:** Repair

**Time:** Immediate

**Condition:** • Paint - deteriorated / missing

**Location:** Right Side Porch Staircase

**Task:** Repair

**Time:** Immediate

## WALLS \ Trim

**Condition:** • Paint or stain needed

**Implication(s):** Chance of water damage to structure, finishes and contents | Material deterioration

**Location:** Various Exterior Wall

**Task:** Repair

**Time:** Immediate

## WALLS \ Wood siding

**Condition:** • [Rot](#)

**Implication(s):** Weakened structure | Material deterioration

**Location:** Right Exterior Wall

**Task:** Repair

**Time:** Immediate

## WALLS \ Vinyl siding

**Condition:** • [Loose or missing pieces](#)

**Implication(s):** Chance of water damage to structure, finishes and contents

**Location:** Left and Front Exterior Wall

**Task:** Repair

**Time:** Immediate

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## EXTERIOR GLASS/WINDOWS \ Frames

**Condition:** • Rot

Damaged/Loose Window

**Implication(s):** Material deterioration

**Location:** Right Exterior of Basement

**Task:** Repair

**Time:** Immediate

## EXTERIOR GLASS/WINDOWS \ Exterior trim

**Condition:** • [Rot](#)

**Implication(s):** Chance of water damage to structure, finishes and contents | Material deterioration

**Location:** Rear Exterior

**Task:** Repair

**Time:** Immediate

**Condition:** • [Damage](#)

**Implication(s):** Chance of water damage to structure, finishes and contents

**Location:** Right Side Porch Staircase

**Task:** Repair

**Time:** Immediate

## PORCHES, DECKS, STAIRS, PATIOS AND BALCONIES \ Beams

**Condition:** • Failing Roof Support Beams

**Implication(s):** Damage to structure

**Location:** Right Side Porch Roof

**Task:** Further Evaluation

**Time:** Immediate

## PORCHES, DECKS, STAIRS, PATIOS AND BALCONIES \ Floors

**Condition:** • Trip Hazard

**Implication(s):** Trip Hazard

**Location:** Front Porch

**Task:** Repair

**Time:** Immediate

**Condition:** • [Damage](#)

**Implication(s):** Weakened structure | Chance of movement

**Location:** Various Front Porch

**Task:** Repair

**Time:** Immediate

**Condition:** • Loose deck board

**Implication(s):** Trip or fall hazard

**Location:** Front Left Side Porch

**Task:** Repair

**Time:** Immediate

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## PORCHES, DECKS, STAIRS, PATIOS AND BALCONIES \ Stairs and landings

**Condition:** • Steps or landings settling or heaving

**Implication(s):** Weakened structure | Trip or fall hazard

**Location:** Rear Left Yard

**Task:** Further Evaluation

**Time:** Immediate

**Condition:** • Steps or landings settling or heaving

**Implication(s):** Weakened structure | Trip or fall hazard

**Location:** Right Porch

**Task:** Further Evaluation

**Time:** Immediate

**Condition:** • [Steps slope](#)

**Implication(s):** Trip or fall hazard

**Location:** Right Side Porch

**Task:** Further Evaluation

**Time:** Immediate

**Condition:** • Missing or deteriorated mortar should be repaired. Implication: Water freezing will cause additional damage over time.

**Location:** Various Front Porch

**Task:** Repair

**Time:** Immediate

## PORCHES, DECKS, STAIRS, PATIOS AND BALCONIES \ Handrails and guards

**Condition:** • [Missing](#)

Because this roof is flat and accessible by a door, from the second floor, it should have railings around the total perimeter or at minimum around a specific area accessible from the door.

**Implication(s):** Fall hazard

**Location:** Second Floor Balcony

**Task:** Repair

**Time:** Immediate

**Condition:** • [Missing](#)

**Implication(s):** Fall hazard

**Location:** Right Side Porch

**Task:** Repair

**Time:** Immediate

**Condition:** • [Missing](#)

**Implication(s):** Fall hazard

**Location:** Front and Right Porch

**Task:** Repair

**Time:** Immediate

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**Condition:** • [Loose](#)

**Implication(s):** Fall hazard

**Location:** Right Side Porch

**Task:** Repair

**Time:** Immediate

**Condition:** • [Spindles \(balusters\) missing](#)

**Implication(s):** Fall hazard

**Location:** Right Side Porch

**Task:** Repair

**Time:** Immediate

**Condition:** • Handrail hard to hold.

**Implication(s):** Fall hazard

**Location:** Right Side Porch

**Task:** Repair

**Time:** Immediate

## PORCHES, DECKS, STAIRS, PATIOS AND BALCONIES \ Patios

**Condition:** • [Trip hazards](#)

**Implication(s):** Physical injury

**Location:** Rear Yard

**Task:** Repair

**Time:** Immediate

## LANDSCAPING \ Lot grading

**Condition:** • Improper slope or drainage

**Implication(s):** Chance of water damage to structure, finishes and contents. This issue is commensurate with moisture issues and mold growth. A more detailed inspection, specifically addressing these concerns and mold testing, is advised.

**Location:** Various Yard

**Task:** Repair

**Time:** Immediate

## LANDSCAPING \ Walkway

**Condition:** • [Uneven \(trip hazard\)](#)

**Implication(s):** Physical injury

**Location:** Rear/Front Yard

**Task:** Repair

**Time:** Immediate

**Condition:** • Settlement

And/or Heaving

**Location:** Rear/Front Yard

**Task:** Further Evaluation

**Time:** Immediate

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## LANDSCAPING \ Patios

**Condition:** • Cracked or damaged surfaces**Implication(s):** Physical injury**Location:** Rear Yard**Task:** Repair**Time:** Immediate

## LANDSCAPING \ Driveway

**Condition:** • [Uneven \(trip hazard\)](#)**Implication(s):** Physical injury**Location:** Right Side Yard**Task:** Repair**Time:** Immediate

## LANDSCAPING \ Retaining wall

**Condition:** • [Leaning](#)**Implication(s):** Weakened structure | Chance of movement**Location:** Left Side/Rear/Front Yard**Task:** Further Evaluation**Time:** Immediate**Condition:** • [Settling or shifting](#)**Implication(s):** Weakened structure | Chance of movement**Location:** Rear Left Yard**Task:** Further Evaluation**Time:** Immediate**Condition:** • [Mortar - deteriorated, missing](#)**Implication(s):** Weakened structure | Chance of movement**Location:** Various**Task:** Repair**Time:** Immediate

## LANDSCAPING \ Fence

**Condition:** • Loose Fence**Implication(s):** Weakened Structure**Location:** Front Yard**Task:** Repair**Time:** Immediate**Condition:** • Settlement**Implication(s):** Weakened Structure**Location:** Right Side Yard**Task:** Further Evaluation**Time:** Immediate



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**Condition:** • Gate - adjustment needed

**Implication(s):** Reduced operability

**Location:** Front Yard

**Task:** Repair

**Time:** Immediate

## Structure

### FOUNDATIONS \ Columns or piers

**Condition:** • Poorly secured footing

**Implication(s):** Weakened Structure

**Location:** Front Crawlspace

**Task:** Repair

**Time:** Immediate

**Condition:** • [Leaning](#)

**Implication(s):** Weakened structure | Chance of structural movement

**Location:** Left Side Rear Crawlspace

**Task:** Repair

**Time:** Immediate

**Condition:** • [Missing](#)

**Implication(s):** Chance of structural movement

**Location:** Front Crawlspace

**Task:** Repair

**Time:** Immediate

### FOUNDATIONS \ General notes

**Condition:** • [Bowed, bulging or leaning](#)

**Implication(s):** Weakened structure | Chance of structural movement

**Location:** Right Foundation

**Task:** Further Evaluation

**Time:** Immediate

**Condition:** • [Prior repairs](#)

**Implication(s):** Weakened structure

**Location:** Right Side Crawlspace

**Task:** Further Evaluation

**Time:** Immediate

**Condition:** • Evidence of wood destroying insects.

**Implication(s):** Weakened structure

**Location:** Various First Floor (above crawlspace)

**Task:** Further Evaluation

**Time:** Immediate

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## FOUNDATIONS \ Beams (Girders)

**Condition:** • [Poor bearing, crushed or loose shims](#)

**Implication(s):** Weakened structure | Chance of structural movement

**Location:** Front Crawlspace

**Task:** Repair

**Time:** Immediate

## FLOORS \ Joists

**Condition:** • [Notches or holes](#)

**Implication(s):** Weakened structure

**Location:** Front and Rear Crawlspace

**Task:** Repair

**Time:** Immediate

**Condition:** • [Sag or springy](#)

**Implication(s):** Chance of structural movement | Bouncy, springy floors

**Location:** Various First and Second Floor

**Task:** Further Evaluation

**Time:** Immediate

**Condition:** • [Sag or springy](#)

**Implication(s):** Chance of structural movement | Bouncy, springy floors

**Location:** Front Left Crawlspace

**Task:** Repair

**Time:** Immediate

**Condition:** • [Poor end bearing, joist hanger connections](#)

**Implication(s):** Weakened structure | Chance of structural movement

**Location:** Various Crawlspace

**Task:** Repair

**Time:** Immediate

**Condition:** • [Prior repairs](#)

**Implication(s):** Weakened structure | Chance of structural movement

**Location:** Rear Center Crawlspace

**Task:** Further Evaluation

**Time:** Immediate

**Condition:** • [Rot](#)

**Implication(s):** Weakened structure

**Location:** Rear Center Crawlspace

**Task:** Repair

**Time:** Immediate

## FLOORS \ Sheathing/Subflooring

**Condition:** • Sagging

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**Implication(s):** Weakened structure | Chance of structural movement

**Location:** Right Side Basement

**Task:** Repair

**Time:** Immediate

**Condition:** • Rot

**Implication(s):** Weakened structure | Chance of structural movement

**Location:** Front Right Crawlspace

**Task:** Further Evaluation

**Time:** Immediate

## WALLS \ Wood frame walls

**Condition:** • [Notches or holes](#)

**Implication(s):** Weakened structure

**Location:** Front Left Side of Rear Attic

**Task:** Repair

**Time:** Immediate

## ROOF FRAMING \ Rafters/trusses

**Condition:** • [Split](#)

**Implication(s):** Weakened structure | Chance of structural movement

**Location:** Main Attic

**Task:** Repair

**Time:** Immediate

**Condition:** • [Sagging](#)

**Implication(s):** Weakened structure | Chance of structural movement

**Location:** Various Roof

**Task:** Repair

**Time:** Immediate

## ROOF FRAMING \ Ceiling joists

**Condition:** • Sag

**Location:** Rear Right Living Room

**Task:** Further Evaluation

**Time:** Immediate

**Condition:** • Sag

**Location:** Kitchen

**Task:** Further Evaluation

**Time:** Immediate

## ROOF FRAMING \ Sheathing (roof/attic)

**Condition:** • Water stains

**Implication(s):** Material deterioration, chance of water damage to structure, finishes and contents, This issue is commensurate with moisture issues and mold growth. A more detailed inspection, specifically addressing these concerns and mold testing, is advised.

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**Location:** Various Attic  
**Task:** Further Evaluation  
**Time:** Immediate

## ROOF FRAMING \ Beams/Girders (roof/attic)

**Condition:** • Missing  
Missing Ridge Beam

**Implication(s):** Chance of structural movement

**Location:** Main Attic

**Task:** Repair

**Time:** Immediate

**Condition:** • Undersized Ridge Beam - Properly sized ridge beams should be a one size larger member than the rafters bearing on it, depending on roof pitch, or wider than the rafter angle cut bearing on it.

**Location:** Lower Attic

**Task:** Repair

**Time:** Immediate

## Electrical

### SERVICE DROP AND SERVICE ENTRANCE \ Service drop

**Condition:** • [Height over deck](#)

**Implication(s):** Electric shock

**Location:** Right Exterior

**Task:** Repair

**Time:** Immediate

### SERVICE BOX, GROUNDING AND PANEL \ System grounding

**Condition:** • The adequacy of the grounding of the electrical service is questionable. There is no driven ground rod. The service should be grounded to a driven ground rod, as is currently required, along with the existing bonding to the water lines. The issue with grounding to water pipe is that the pipe to the water main must be metal and there should be continuity across the water meter. Depending on the distance of the water line to the meter, the water main may need to be metal. If any of this does not exist or is changed to a non-metallic pipe the ground will be inadequate. For safety adding a driven ground is recommend.

**Task:** Further evaluation

**Time:** Immediate

### SERVICE BOX, GROUNDING AND PANEL \ Auxiliary panel (subpanel)

**Condition:** • Rust

**Implication(s):** Water Damage

**Location:** Right Side Porch

**Task:** Further Evaluation

**Time:** Immediate

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**Condition:** • Painted Shut

**Implication(s):** cant access

**Location:** Right Side Porch

**Task:** Repair

**Time:** Immediate

## DISTRIBUTION SYSTEM \ Wiring (wires) - installation

**Condition:** • [Open splices](#)

**Implication(s):** Electric shock | Fire hazard

**Location:** Rear Exterior Wall and Basement and Crawlspc

**Task:** Repair

**Time:** Immediate

## DISTRIBUTION SYSTEM \ Wiring (wires) - damaged or exposed

**Condition:** • Exposed Electrical Wiring

**Implication(s):** Electric shock

**Location:** Kitchen and Well Room

**Task:** Repair

**Time:** Immediate

## DISTRIBUTION SYSTEM \ Junction boxes

**Condition:** • [Cover loose or missing](#)

**Implication(s):** Electric shock | Fire hazard

**Location:** Lower Attic

**Task:** Repair

**Time:** Immediate

## DISTRIBUTION SYSTEM \ Outlets (receptacles)

**Condition:** • [Damage](#)

**Implication(s):** Electric shock | Fire hazard

**Location:** Rear Right Office Area

**Task:** Repair

**Time:** Immediate

**Condition:** • [Inoperative](#)

**Implication(s):** Equipment inoperative

**Location:** Laundry Room

**Task:** Repair

**Time:** Immediate

**Condition:** • [Open hot](#)

**Implication(s):** Electric shock

**Location:** Right Side Porch

**Task:** Repair

**Time:** Immediate



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**Condition:** • Ungrounded 3-prong outlets should be repaired. In some cases a ground wire may be present in the electrical box and simply needs to be connected. If no ground is present since having a ground increases safety, a grounded circuit could be strung to this outlet, or a separate ground wire could be connected. Some electrical codes allow the installation of a ground fault circuit interrupter (GFCI) type outlet where grounding is not provided. In this case the GFCI may work but cant be tested by normal means.

**Implication(s):** Electrical Shock Hazard

**Location:** Various

**Task:** Repair

**Time:** Immediate

## DISTRIBUTION SYSTEM \ Lights

**Condition:** • Light bulbs are missing or burned out in various light fixtures throughout the building. We do not state locations, when we find one, typically there are more. All bulbs were requested to be replaced and operative. All bulbs, and fixtures, should be checked for proper function and replaced as found necessary.

**Implication(s):** Poor lighting and possible issues with the fixture

**Location:** Various

**Task:** Repair

**Time:** Immediate

**Condition:** • Light fixture globe is missing.

**Location:** Rear Exterior Wall

**Task:** Repair

**Time:** Immediate

## DISTRIBUTION SYSTEM \ Smoke alarms (detectors)

**Condition:** • Missing

**Implication(s):** Safety issue

**Location:** Throughout Bedrooms

**Task:** Repair

**Time:** Immediate

**Condition:** • The installation of interconnected (one goes off they all go off) smoke detectors/alarms, connected to the power source with battery backup, outside every sleeping area, in every room used for sleeping and one on every level including basements and cellars is recommended for improved safety. At minimum battery operated detectors should be installed in these locations. Be aware if any work is performed on this home that requires a permit wired detectors could be a requirement of that permit. Many municipalities have or may soon require this. There are some exceptions for battery operated and not interconnected under certain circumstances such as when wiring cannot be installed without removing finishes. Its a good idea to also add one in the garage. If you demand this repair from a seller please be sure and make it clear whether you are demanding wired detectors or will accept battery operated detectors. There is a major difference in the cost and work required!

**Task:** Further evaluation

**Time:** Immediate

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## Heating

### RECOMMENDATIONS \ General

**Condition:** • Exposed joint tape on the furnace distribution duct may contain asbestos. The Environmental Protection Agency (E.P.A.) reports that asbestos represents a health hazard if friable (damaged, crumbling, or in any state that allows the release of fibers). If replacement of the duct necessitates the removal of the asbestos containing tape, an asbestos removal specialist should be engaged. If any sections of this tape are indeed friable, or become friable over time, a specialist should also be engaged. Further guidance is available from the Environmental Protection Agency (E.P.A.). Considering the age of this home there may be other materials within the home that contain asbestos but are not identified by this inspection report.

**Location:** Various

**Task:** Repair

**Time:** Immediate

### OIL FURNACE \ Oil tank

**Condition:** • [Underground](#)

**Implication(s):** Leakage | Environmental contamination

**Location:** Right Side Yard

**Task:** Further evaluation

**Time:** Immediate

**Condition:** • It is recommended that the abandoned oil tank no longer in use be removed.

**Location:** Front Right Crawl Space

**Task:** Further evaluation

**Time:** Immediate

### CHIMNEY AND VENT \ Masonry chimney

**Condition:** • [Settling or leaning](#)

**Implication(s):** Chance of water damage to structure, finishes and contents | Chance of chimney movement | Hazardous combustion products entering home

**Location:** Rear Roof

**Task:** Further Evaluation

**Time:** Immediate

### FIREPLACE \ Firebox

**Condition:** • [Designed for coal. Consult a specialist before using.](#)

**Implication(s):** Hazardous combustion products entering home | Fire hazard

**Location:** Various

**Task:** Further evaluation

**Time:** Immediate

### FIREPLACE \ Hearth and extension

**Condition:** • [Gaps or cracks](#)

**Implication(s):** Fire hazard

**Location:** Front Right Second Floor Bedroom

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**Task:** Repair

**Time:** Immediate

## Insulation and Ventilation

### FOUNDATION \ Crawlspace ventilation

**Condition:** • Damaged foundation vent screens. Implication: Insects and varmints entering the crawl space.  
Missing

**Location:** Various Exterior

**Task:** Repair

**Time:** Immediate

### CRAWLSPACE \ Hatch/Door

**Condition:** • Does not fit tightly

**Implication(s):** Chance of pests entering building

**Location:** Left Exterior Wall

**Task:** Repair

**Time:** Immediate

## Plumbing

### SUPPLY PLUMBING \ Water supply pump

**Condition:** • Although water wells are not part of this inspection an abandoned well was observed on this property. The North Carolina Health Department requires that all abandoned wells be properly closed to their specifications. This process requires a permit, inspection and supervision by a certified well contractor. This may be a major undertaking depending on the condition and type of well. As an alternative the well may be placed back in service and used for such purposes as watering the yard or wash vehicles.

**Location:** Rear Left Porch

**Task:** Further Evaluation

**Time:** Immediate

### SUPPLY PLUMBING \ Water supply piping in building

**Condition:** • Well cracked

**Implication(s):** Damage to well structure

**Location:** Rear Left Porch

**Task:** Further Evaluation

**Time:** Immediate

**Condition:** • Leak

**Implication(s):** Chance of water damage to structure, finishes and contents | System inoperative, This issue is commensurate with moisture issues and mold growth. A more detailed inspection, specifically addressing these concern's and mold testing, is advised.

**Location:** Well Room

**Task:** Repair

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**Time:** Immediate

## WATER HEATER \ Life expectancy

**Condition:** • [Old](#)

**Implication(s):** No hot water

**Location:** Basement

**Task:** Further evaluation

**Time:** Immediate

## WATER HEATER \ Temperature/pressure relief (TPR) valve

**Condition:** • [Discharge tube missing](#)

**Implication(s):** Scalding

**Location:** Basement

**Task:** Repair

**Time:** Immediate

## WASTE PLUMBING \ Drain piping - installation

**Condition:** • [Exposed to mechanical damage](#)

**Implication(s):** Chance of water damage to structure, finishes and contents | Sewage entering the building

**Location:** Rear Right Yard

**Task:** Repair

**Time:** Immediate

## WASTE PLUMBING \ Drain piping - performance

**Condition:** • [Clogged](#)

**Implication(s):** Sewage entering the building

**Location:** Second Floor Hall Bathroom

**Task:** Repair

**Time:** Immediate

## WASTE PLUMBING \ Traps - installation

**Condition:** • [Wrong type](#)

S Trap and Drum Trap

**Implication(s):** Sewer gases entering the building

**Location:** Kitchen, Hall Bathroom, and Crawlspace

**Task:** Repair

**Time:** Immediate

## WASTE PLUMBING \ Sump pump

**Condition:** • [Lid missing, rotted or not secure](#)

**Implication(s):** Trip or fall hazard

**Location:** Right Side Basement

**Task:** Repair

**Time:** Immediate

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## FIXTURES AND FAUCETS \ Hose bib or bibb (outdoor faucet)

**Condition:** • The exterior hose bib should be changed to a frost proof hose bib.

**Location:** Right Exterior Wall

**Task:** Repair

**Time:** Immediate

**Condition:** • The anti siphon valve is damaged and/or leaking.

**Implication(s):** Reduced operability, leakage

**Location:** Left Exterior Wall

**Task:** Repair

**Time:** Immediate

## FIXTURES AND FAUCETS \ Faucet

**Condition:** • Drip, leak

**Implication(s):** Chance of water damage to structure, finishes and contents, This issue is commensurate with moisture issues and mold growth. A more detailed inspection, specifically addressing these concerns and mold testing, is advised.

**Location:** Second Floor Hall Bathroom

**Task:** Repair

**Time:** Immediate

## FIXTURES AND FAUCETS \ Bathtub enclosure

**Condition:** • [Caulking loose, missing or deteriorated](#)

**Implication(s):** Chance of water damage to structure, finishes and contents

**Location:** Master Bathroom

**Task:** Repair

**Time:** Immediate

## FIXTURES AND FAUCETS \ Toilet

**Condition:** • [Loose](#)

**Implication(s):** Chance of water damage to structure, finishes and contents | Sewage entering the building | Possible hidden damage

**Location:** Second Floor Hall Bathroom

**Task:** Repair

**Time:** Immediate

## Interior

### CEILINGS AND WALLS \ General notes

**Condition:** • Mold

**Implication(s):** Ventilation Issue/Moisture Issue

**Location:** Family Room

**Task:** Clean

**Time:** Regular Maintenance



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## CEILINGS \ Wood

**Condition:** • [Loose](#)

**Implication(s):** Damage or physical injury due to falling materials

**Location:** Rear Center Hallway

**Task:** Repair

**Time:** Immediate

## CEILINGS \ Fan

**Condition:** • Excessive vibration

**Implication(s):** Nuisance | Noise nuisance

**Location:** Master Bedroom and Front Left Second Floor Bedroom

**Task:** Repair

**Time:** Immediate

**Condition:** • Noisy

**Implication(s):** Noise nuisance

**Location:** Front Right Second Floor Bedroom

**Task:** Repair

**Time:** Immediate

## WALLS \ General notes

**Condition:** • Water stains

**Implication(s):** Chance of water damage to structure, finishes and contents, This issue is commensurate with moisture issues and mold growth. A more detailed inspection, specifically addressing these concern's and mold testing, is advised.

**Location:** Rear Right Office Area

**Task:** Further Evaluation

**Time:** Immediate

## WINDOWS \ General notes

**Condition:** • Difficult to operate

**Implication(s):** System inoperative or difficult to operate

**Location:** Front Right Second Floor Bedroom

**Task:** Repair

**Time:** Immediate

## DOORS \ Doors and frames

**Condition:** • Rubs

**Implication(s):** Reduced Operability

**Location:** Various

**Task:** Repair

**Time:** Immediate

**Condition:** • [Damage](#)

**Implication(s):** Material deterioration | Increased heating and cooling costs | Reduced comfort

**Location:** Rear Left Porch

**Task:** Repair

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**Time:** Immediate

**Condition:** • [Swings open or closed by itself](#)

**Implication(s):** Physical injury

**Location:** Right Side Hallway

**Task:** Repair

**Time:** Immediate

**Condition:** • [Weatherstripping missing or ineffective](#)

**Implication(s):** Chance of water entering building | Increased heating and cooling costs | Reduced comfort

**Location:** Right Side Basement Door

**Task:** Repair

**Time:** Immediate

**Condition:** • Does not latch properly

**Implication(s):** System inoperative or difficult to operate

**Location:** Front Master Bedroom

**Task:** Repair

**Time:** Immediate

**Condition:** • Over wide jamb margin at door latch

**Implication(s):** Reduced security

**Location:** Front Entry

**Task:** Repair

**Time:** Immediate

## DOORS \ Glass (glazing)

**Condition:** • Putty Missing

**Implication(s):** Loose Glass/Loss of heat

**Location:** Front Entry

**Task:** Repair

**Time:** Immediate

## DOORS \ Hardware

**Condition:** • [Loose](#)

**Implication(s):** Equipment failure

**Location:** Various

**Task:** Repair

**Time:** Immediate

**Condition:** • Lock not effective on exterior door

**Implication(s):** Poor security

**Location:** Front Right Second Floor Bedroom

**Task:** Repair

**Time:** Immediate

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**Condition:** • Does not latch properly

**Implication(s):** System inoperative or difficult to operate

**Location:** Various

**Task:** Repair

**Time:** Immediate

## STAIRS \ General notes

**Condition:** • The door at the top of the stairwell should open away from the stairs. It is recommended that this door be altered for improved safety. A person leaning against an inadequately latched door could fail down the stair.

**Implication(s):** Fall hazard

**Location:** Right Side Basement

**Task:** Repair

**Time:** Immediate

## STAIRS \ Treads

**Condition:** • [Sloped](#)

**Implication(s):** Trip or fall hazard

**Location:** Center Second Floor Staircase

**Task:** Further Evaluation

**Time:** Immediate

## STAIRS \ Handrails and guards

**Condition:** • [Loose](#)

**Implication(s):** Fall hazard

**Location:** Second Floor Staircase

**Task:** Repair

**Time:** Immediate

**Condition:** • [Missing](#)

**Implication(s):** Fall hazard

**Location:** Second Floor Staircase

**Task:** Repair

**Time:** Immediate

## EXHAUST FANS \ General notes

**Condition:** • [Missing](#)

**Implication(s):** Chance of condensation damage to finishes and/or structure

**Location:** Master and Rear Left Bathrooms

**Task:** Repair

**Time:** Immediate

## BASEMENT \ Wet basement - evidence

**Condition:** • [Stains](#)

**Implication(s):** Chance of water damage to structure, finishes and contents

**Location:** Basement

**Task:** Further Evaluation

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**Time:** Immediate

## **CRAWLSPACE \ Wet crawlspace - evidence**

**Condition:** • Efflorescence

**Implication(s):** Chance of water damage to structure, finishes and contents, This issue is commensurate with moisture issues and mold growth. A more detailed inspection, specifically addressing these concerns and mold testing, is advised.

**Location:** Various Crawlspace

**Task:** Further Evaluation

**Time:** Immediate

## **APPLIANCES \ Doorbell or chime**

**Condition:** • Inoperative

**Implication(s):** Equipment inoperative

**Location:** Various

**Task:** Further evaluation

**Time:** Immediate

NOTE: THIS SUMMARY IS NOT A REPAIR LIST AND SHOULD NOT BE USED AS SUCH. IF YOU ARE A SELLER OR A REPAIR CONTRACTOR AND HAVE NOT BEEN ALLOWED ACCESS TO THE COMPLETE REPORT YOU DO NOT HAVE ALL OF THE INFORMATION YOU MAY NEED TO EXPEDITE AND COMPLETE PROPER REPAIRS RELATIVE TO THE ITEMS IN THIS SUMMARY. This inspector will not be liable for anyones failure to provide complete information relative to this home inspection. IF YOU ARE A SELLER OR REPAIR CONTRACTOR YOU ARE STRONGLY URGED TO DEMAND ALL OF THE PAGES OF THIS REPORT CLEARLY ENUMERATED IN THE FOOTER OF EACH PAGE.

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## Description

### General:

- The roof coverings appear to be in generally good condition.
- Better than average quality materials appear to have been employed as roof coverings.
- The steep pitch of the roof should result in a longer than normal life expectancy for roof coverings.

### Shingled roofing areas

- It should be noted that flat or near flat roofs in residential construction may have a higher potential for leaks. Leaks can be difficult to repair, as the source of the leakage can be far removed from the water stain that shows up on the interior.

Some roofers will insist on re-roofing rather than patching flat roofs.

These areas of roofing do not appear to be very old. Suggest requesting information on the date of installation and warranty.

**Sloped roofing material:** • [Asphalt shingles](#) • Metal Flashing • Rubber (Plumbing Boots)

### Flat roofing material:

- [Synthetic rubber](#)

Based on the age of this home, the flat roofs, currently covered by synthetic rubber, were likely flat metal (tin or a derivative thereof) with soldered joints. It is possible this roofing may have been left and covered over. This was not verified.

### Approximate age:

- New
- Shingled roofing

**Approximate age:** • Age of synthetic rubber roofing was not determined but doesn't visually appear to be very old.

## Limitations

**Inspection limited/prevented by:** • As prescribed in the pre-inspection contract, this is a visual inspection only. Roofing life expectancies can vary depending on several factors. Any estimates of remaining life are approximations only. This assessment of the roof does not preclude the possibility of leakage. Leakage can develop at any time and may depend on rain intensity, wind direction, ice build up, etc. • This report is an opinion of the general quality and condition of the roof. The inspector cannot, and does not, offer an opinion or warranty as to whether the roof has leaked in the past, leaks now or may leak in the future. (This report is issued in consideration of the foregoing disclaimer.) • The entire underside of the roof sheathing is not inspected for evidence of leaks. • Interior finishes may disguise evidence of prior leaks. • Antennae, chimney/flue interiors that are not readily accessible are not inspected and could require repair. • Roof inspection may be limited by access, condition, weather, or other safety concerns. • The inspector is not required to walk on the roof. • Gutters and subsurface drains are not tested for leakage or blockage. • Regular maintenance of drainage systems is required to avoid water problems at the roof and foundation • Please refer to the pre-inspection contract for a full explanation of the scope of the inspection, "Areas to Be Observed and Conditions Reported" and "Specific Limitations and Exclusions". • Areas of the roof were not visible from the ground • Lack of access (too high/steep)

### Inspection performed:

- From the ground
- High Roof
- By walking on roof



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Low and flat roof areas

Age determined by: • Report by agent

## Recommendations

### FLAT ROOFING \ Rubber single ply

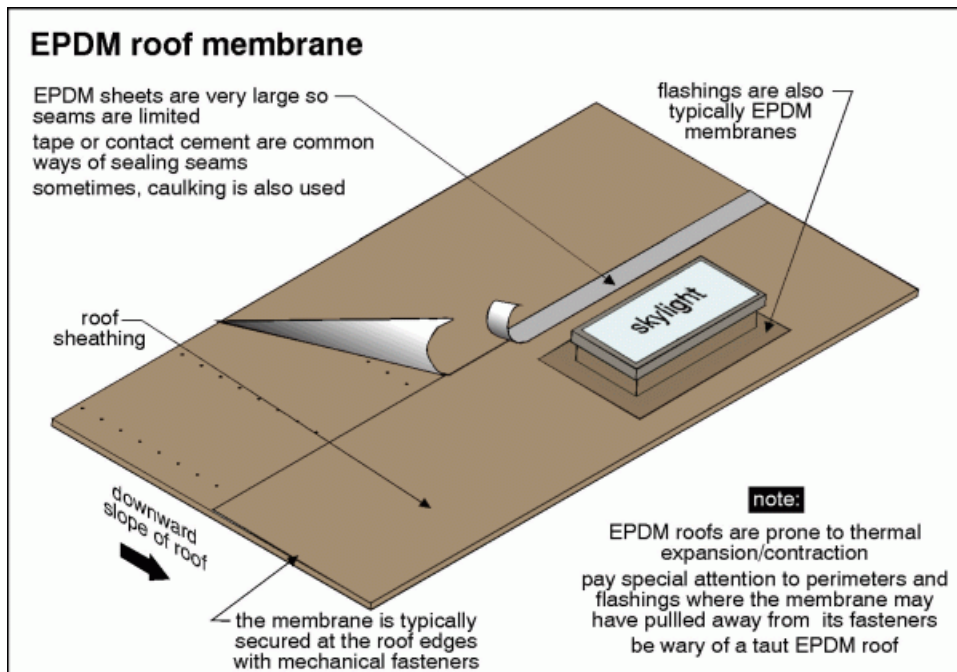
1. Condition: • [Openings at seams or flashings](#)

Implication(s): Chance of water damage to structure, finishes and contents

Location: Left Exterior Wall

Task: Repair

Time: Immediate



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1. Openings at seams or flashings



2. Openings at seams or flashings



3. Openings at seams or flashings

## 2. Condition: • [Ponding](#)

**Implication(s):** Chance of water damage to structure, finishes and contents

**Location:** Various Flat Roof

**Task:** Repair

**Time:** Immediate

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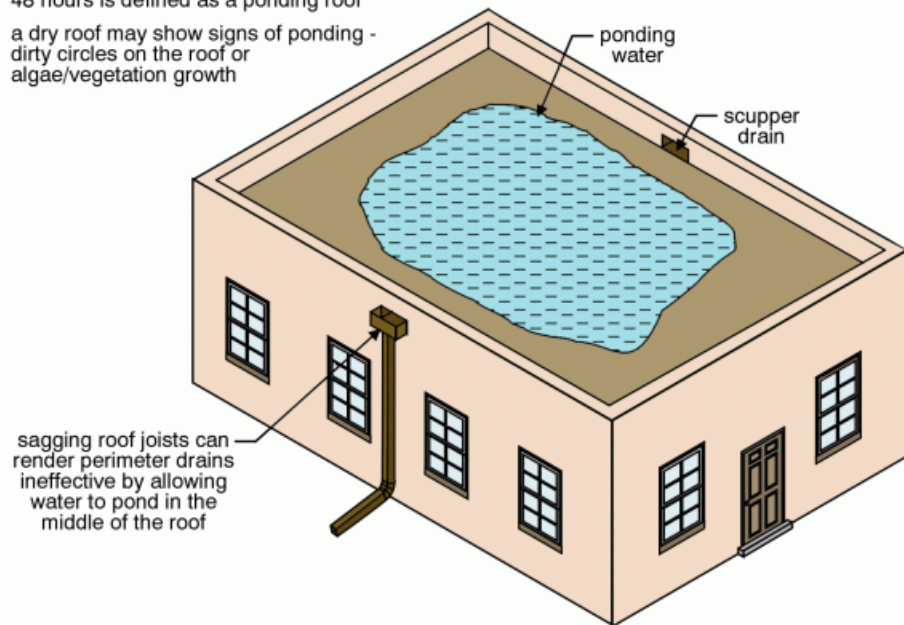
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## Ponding on flat roofs

any roof that still has water on it after 48 hours is defined as a ponding roof

a dry roof may show signs of ponding - dirty circles on the roof or algae/vegetation growth



4. Ponding



5. Ponding



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6. *Ponding*



7. *Ponding*

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## Description

### General:

- The exterior siding that has been installed on the property is relatively low maintenance.  
Partial
- The vinyl/aluminum soffits and fascia are a low-maintenance feature of the exterior of the property.  
Partial
- The exterior of the building shows normal wear and tear for a property of this age.

**Gutter & downspout material:** • [Aluminum](#) • [Plastic](#)

### Gutter & downspout type:

- [Eave mounted](#)
- Partial - Not 100%

**Gutter & downspout discharge:** • [Above grade](#)

**Lot slope:** • [Away from building](#) • [Towards building](#) • [Flat](#)

**Soffit (underside of eaves) and fascia (front edge of eaves):** • [Aluminum](#) • [Vinyl](#) • [Hardboard/Plywood](#) • [Wood](#)

**Wall surfaces and trim:** • [Vinyl siding](#) • [Hardboard, plywood or OSB \(Oriented Strand Board\)](#) • [Boards](#)

**Retaining wall:** • [Stone](#)

**Driveway:** • Concrete • Gravel • Earth

**Walkway:** • Concrete

### Porch:

- Wood
- Stone

The granite used for this home was most likely from the quarry in Mount Airy and, if so, was quarried before the current owners purchased that quarry. This has not been verified. Here is a link to an article about that quarry.  
<https://www.ourstate.com/mount-airy-granite-quarry/>

**Exterior steps:** • Stone

**Patio:** • Concrete • Pavers

**Fence:** • Wrought iron

**Carport:** • Attached

## Limitations

**Inspection limited/prevented by:** • As prescribed in the pre-inspection contract, this is a visual inspection only. • A representative sample of exterior components was inspected rather than every occurrence of components. • The inspection does not include an assessment of geological, geotechnical, or hydrological conditions, or environmental hazards. • Screening, shutters, awnings, or similar seasonal accessories, fences, recreational facilities, outbuildings, seawalls, break-walls, docks, erosion control and earth stabilization measures are not inspected unless specifically agreed-upon and documented in this report. • The presence of safety glazing in doors and windows is not observed. • The presence or condition of buried fuel storage tanks is not determined. • Detached buildings or structures are not

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inspected. Be aware that any building with any dimension greater than twelve (12) feet or more than one story are required to meet the requirements of the North Carolina State Building Code. All accessory buildings of less than 400 sq. ft. if not supported and anchored on masonry or concrete, must be supported on a wood foundation of a minimum 2" x 6" or 3" x 4" mud sill of approved wood in accordance with the building code. All buildings less than 400 sq. ft. not secured to a masonry or concrete foundation must be anchored to resist overturning and sliding by installing a minimum of one ground anchor at each corner of the building. • Garage door remote control transmitters (if any) are not tested. • There was an absence of historical evidence due to the installation of new siding. • Please refer to the pre-inspection contract for a full explanation of the scope of the inspection, "Areas to Be Observed and Conditions Reported" and "Specific Limitations and Exclusions".

**Upper floors inspected from:** • Ground level

**Exterior inspected from:** • Ground level

## Recommendations

### ROOF DRAINAGE \ Gutters

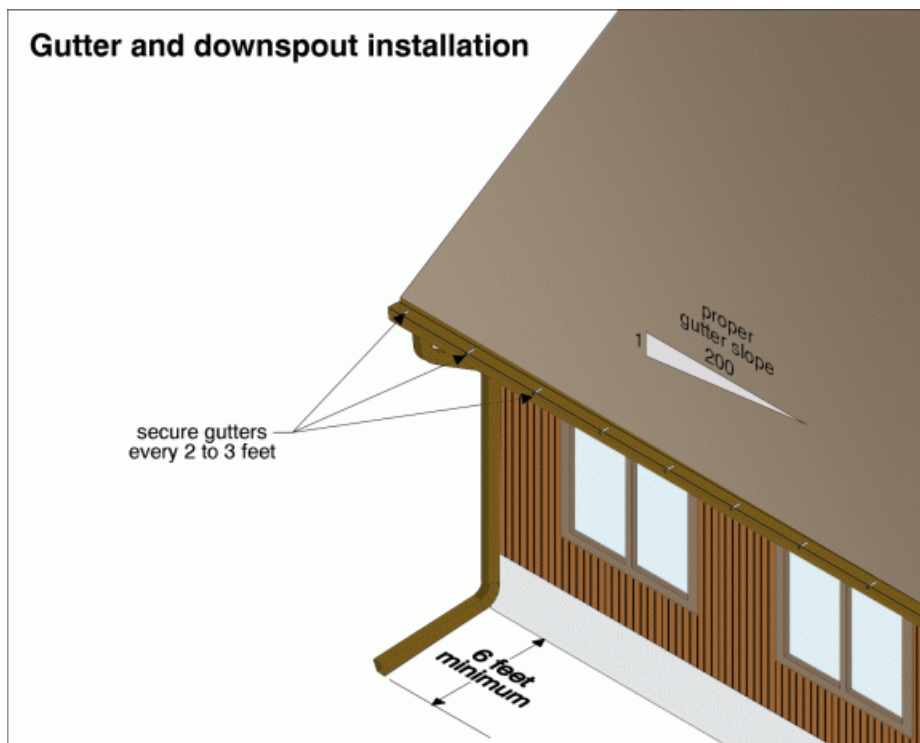
**3. Condition:** • [Missing](#)

**Implication(s):** Chance of water damage to structure, finishes and contents

**Location:** Various Exterior

**Task:** Improve

**Time:** Discretionary



**4. Condition:** • Gutter issues being fixed by seller - per the buyer

**Implication(s):** Water Damage/Drainage Problem

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**Location:** Various Exterior

**Task:** Further Evaluation

**Time:** Immediate

## ROOF DRAINAGE \ Downspouts

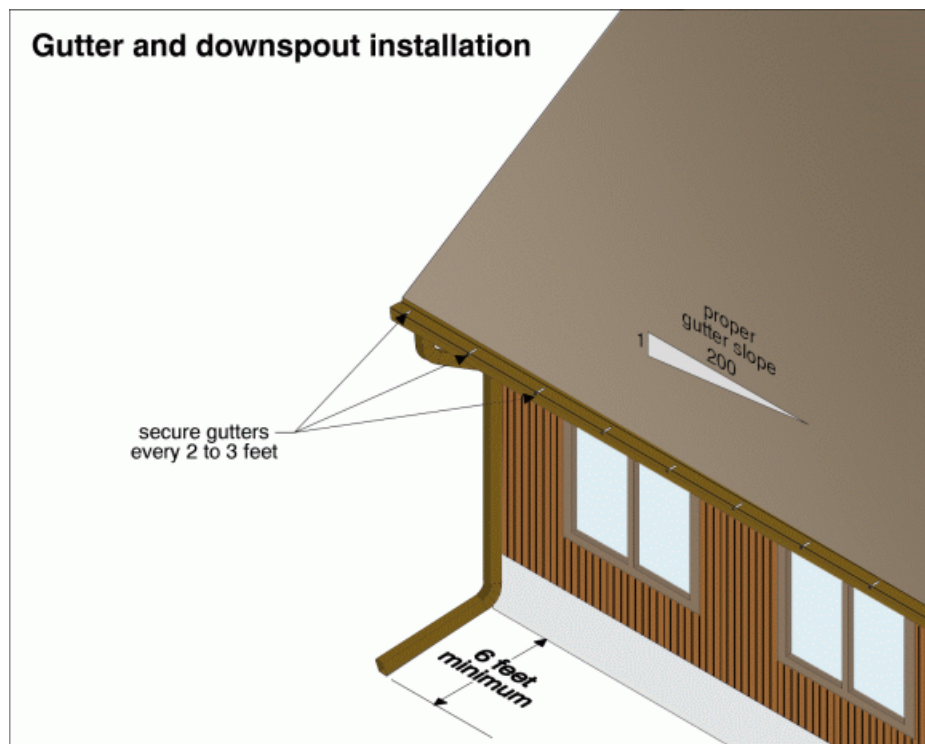
**5. Condition:** • [Discharge too close to building](#)

**Implication(s):** Chance of water damage to structure, finishes and contents

**Location:** Left Yard

**Task:** Repair

**Time:** Immediate





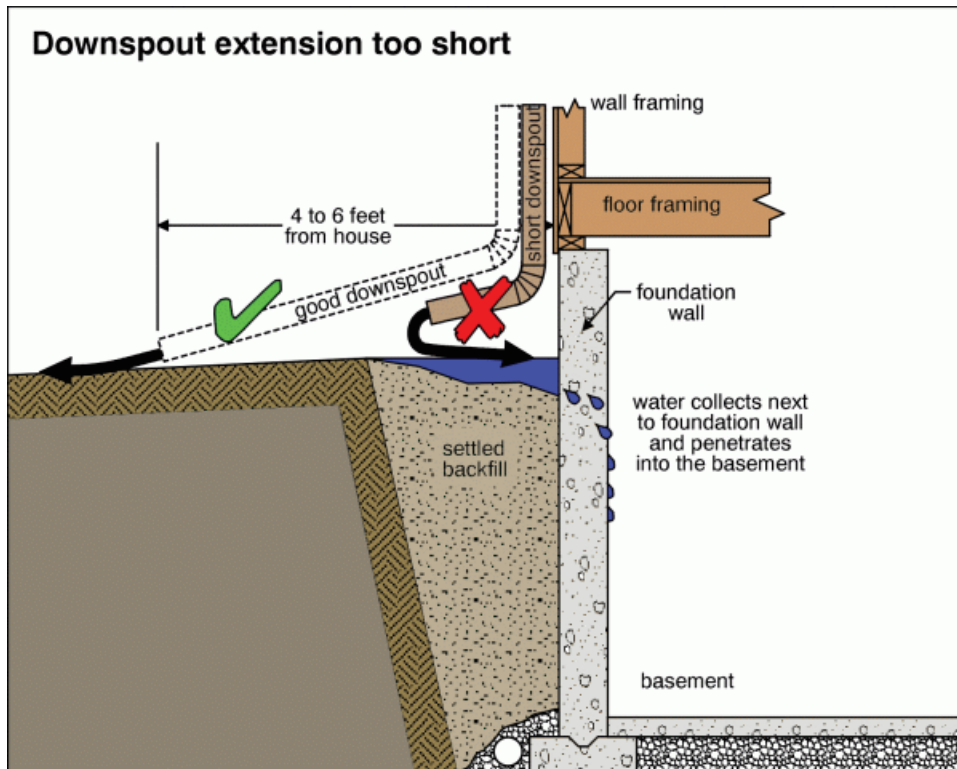
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8. Discharge too close to building

## WALLS \ Soffits (underside of eaves) and fascia (front edge of eaves)

6. Condition: • [Rot](#)

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**Implication(s):** Weakened structure

**Location:** Right Side Porch

**Task:** Further Evaluation

**Time:** Immediate



9. Rotten Soffit

**7. Condition:** • [Loose or missing pieces](#)

**Implication(s):** Chance of water damage to structure, finishes and contents | Chance of pests entering building

**Location:** Various Exterior

**Task:** Repair

**Time:** Immediate



10. Loose or missing pieces



11. Loose or missing pieces



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12. Loose or missing pieces



13. Loose or missing pieces



14. Loose or missing pieces



15. Loose or missing pieces

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16. Loose or missing pieces



17. Loose or missing pieces



18. Loose or missing pieces



19. Loose or missing pieces



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20. Loose or missing pieces



21. Loose or missing pieces



22. Loose or missing pieces

**8. Condition:** • Paint - deteriorated / missing

**Location:** Right Side Porch Staircase

**Task:** Repair

**Time:** Immediate

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23. Paint - deteriorated / missing

## WALLS \ Trim

9. Condition: • Paint or stain needed

Implication(s): Chance of water damage to structure, finishes and contents | Material deterioration

Location: Various Exterior Wall

Task: Repair

Time: Immediate



24. Paint or stain needed



25. Paint or stain needed

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## WALLS \ Wood siding

**10. Condition:** • [Paint or stain - needed](#)

**Implication(s):** Shortened life expectancy of material

**Location:** Various Exterior Wall

**Task:** Paint

**Time:** When Necessary



**26.** *Paint or stain - needed*



**27.** *Paint or stain - needed*



**28.** *Paint or stain - needed*



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29. Paint or stain - needed



30. Paint or stain - needed

11. Condition: • [Rot](#)

**Implication(s):** Weakened structure | Material deterioration

**Location:** Right Exterior Wall

**Task:** Repair

**Time:** Immediate

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31. Rotten Siding



32. Rotten Siding



33. Rotten Siding

## WALLS \ Vinyl siding

12. Condition: • [Loose or missing pieces](#)

Implication(s): Chance of water damage to structure, finishes and contents

Location: Left and Front Exterior Wall

Task: Repair

Time: Immediate

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34. Loose Siding



35. Loose Siding



36. Loose Siding



37. Loose Siding



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38. Loose Siding



39. Loose Siding

## EXTERIOR GLASS/WINDOWS \ Frames

13. Condition: • Rot

Damaged/Loose Window

**Implication(s):** Material deterioration

**Location:** Right Exterior of Basement

**Task:** Repair

**Time:** Immediate



40. Rot

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## EXTERIOR GLASS/WINDOWS \ Exterior trim

14. Condition: • [Rot](#)

**Implication(s):** Chance of water damage to structure, finishes and contents | Material deterioration

**Location:** Rear Exterior

**Task:** Repair

**Time:** Immediate



41. Rotten Window Frame

15. Condition: • [Damage](#)

**Implication(s):** Chance of water damage to structure, finishes and contents

**Location:** Right Side Porch Staircase

**Task:** Repair

**Time:** Immediate



42. Damaged Window



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## PORCHES, DECKS, STAIRS, PATIOS AND BALCONIES \ Beams

**16. Condition:** • Failing Roof Support Beams

**Implication(s):** Damage to structure

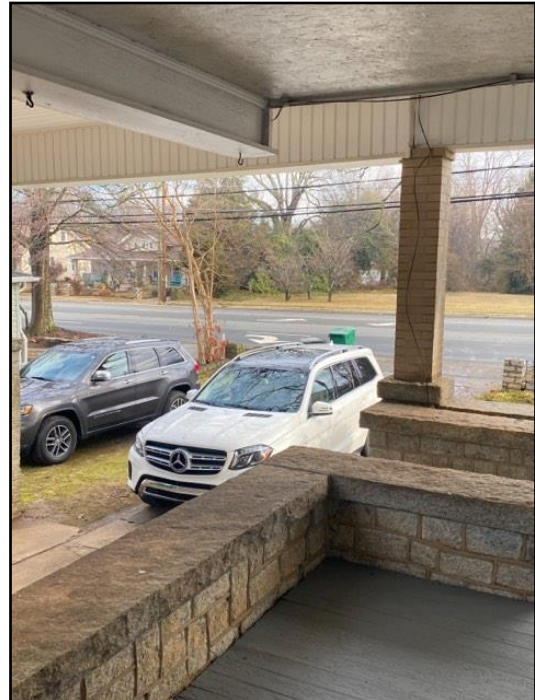
**Location:** Right Side Porch Roof

**Task:** Further Evaluation

**Time:** Immediate



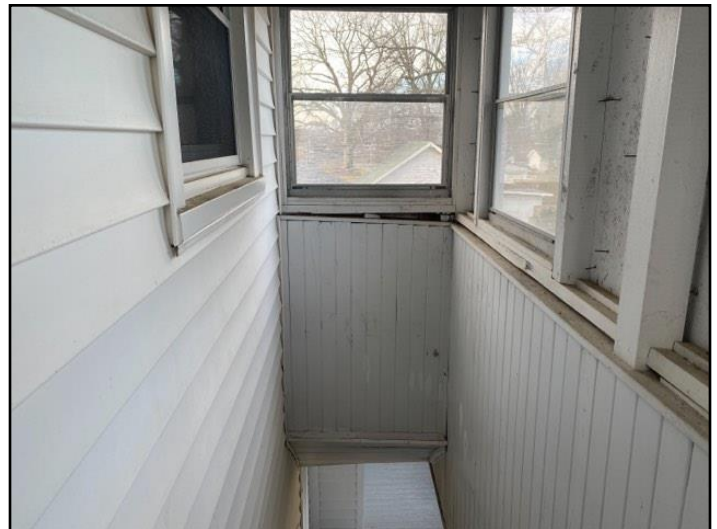
**43. Failing Support Beams**



**44. Failing Support Beams**



**45. Failing Support Beams**



**46. Failing Support Beams**

## PORCHES, DECKS, STAIRS, PATIOS AND BALCONIES \ Floors

**17. Condition:** • [Damage](#)

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**Implication(s):** Weakened structure | Chance of movement

**Location:** Various Front Porch

**Task:** Repair

**Time:** Immediate



47. Damage



48. Damage



49. Damage



50. Damage



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51. Damage



52. Damage

**18. Condition:** • Loose deck board

**Implication(s):** Trip or fall hazard

**Location:** Front Left Side Porch

**Task:** Repair

**Time:** Immediate



53. Loose deck board



54. Loose deck board

**19. Condition:** • Trip Hazard

**Implication(s):** Trip Hazard

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**Location:** Front Porch

**Task:** Repair

**Time:** Immediate



55. Trip Hazard



56. Trip Hazard

## **PORCHES, DECKS, STAIRS, PATIOS AND BALCONIES \ Stairs and landings**

**20. Condition:** • Steps or landings settling or heaving

**Implication(s):** Weakened structure | Trip or fall hazard

**Location:** Rear Left Yard

**Task:** Further Evaluation

**Time:** Immediate



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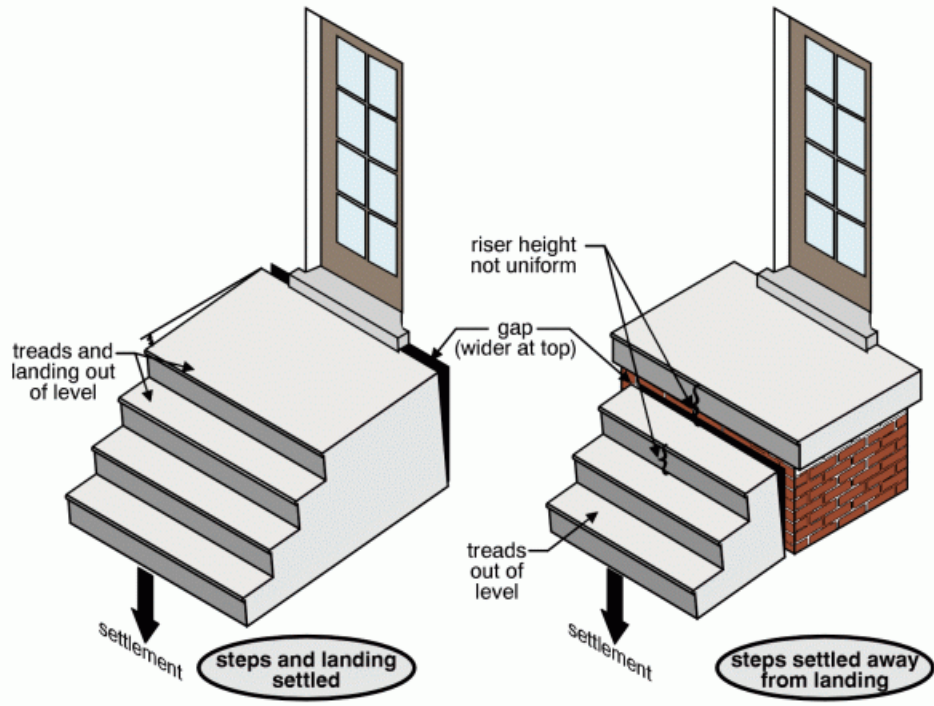
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## Settled or heaved steps



57. Steps Settling

**21. Condition:** • Steps or landings settling or heaving

**Implication(s):** Weakened structure | Trip or fall hazard

**Location:** Right Porch

**Task:** Further Evaluation

**Time:** Immediate

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58. Steps Settling

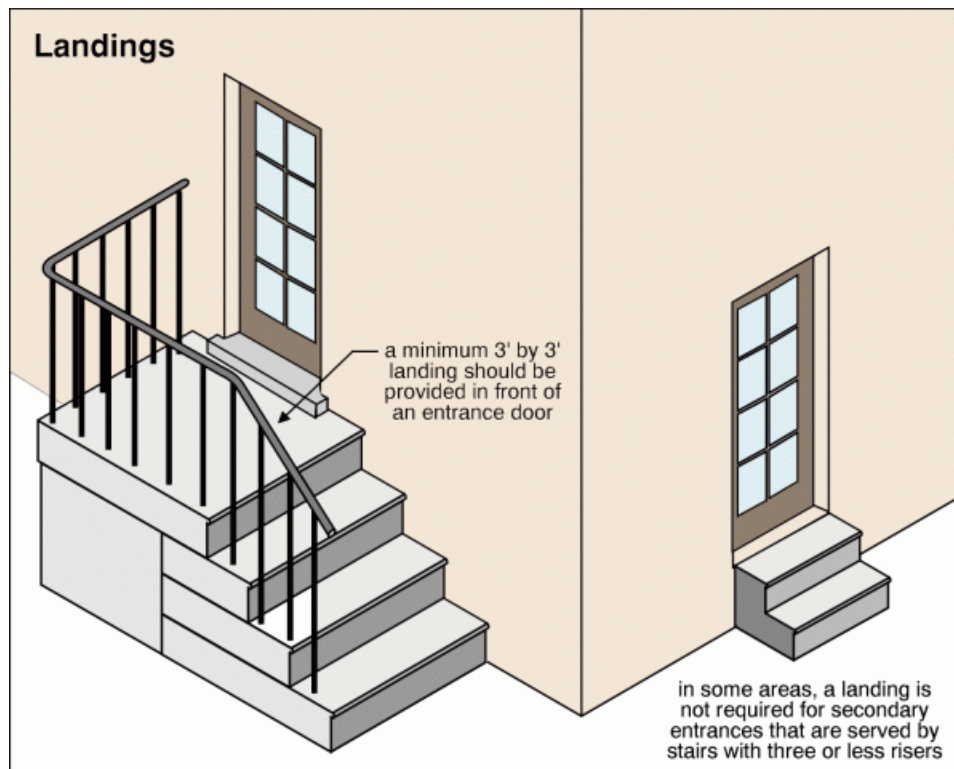
22. Condition: • [Steps slope](#)

Implication(s): Trip or fall hazard

Location: Right Side Porch

Task: Further Evaluation

Time: Immediate



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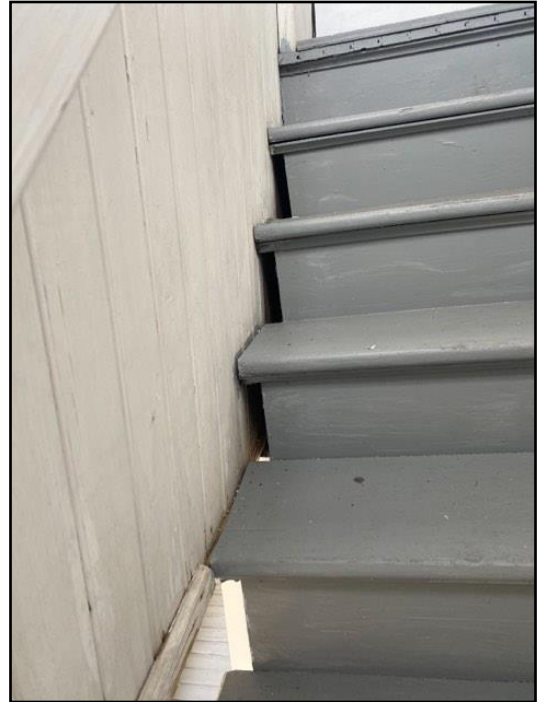
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59. Steps slope



60. Steps slope



61. Steps slope

**23. Condition:** • Missing or deteriorated mortar should be repaired. Implication: Water freezing will cause additional damage over time.

**Location:** Various Front Porch

**Task:** Repair

**Time:** Immediate



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62. Missing or deteriorated mortar should be...



63. Missing or deteriorated mortar should be...

**24. Condition:** • Inadequate support for stair - stair stringers spanning over six foot in the horizontal plan should have additional support.

**Implication(s):** Chance of structural movement.

**Location:** Front /Right Side Crawlspace

**Task:** Monitor

**Time:** Ongoing



64. Inadequate support for stair - stair...



65. Inadequate support for stair - stair...

## PORCHES, DECKS, STAIRS, PATIOS AND BALCONIES \ Handrails and guards

**25. Condition:** • [Missing](#)

**Implication(s):** Fall hazard

**Location:** Front and Right Porch

**Task:** Repair



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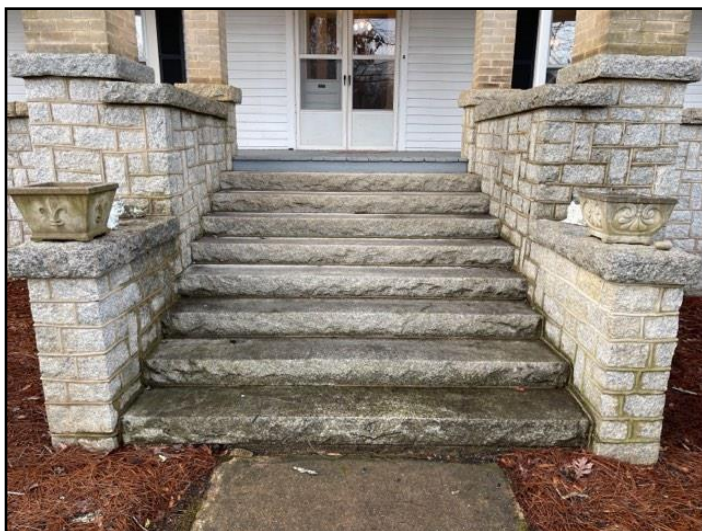
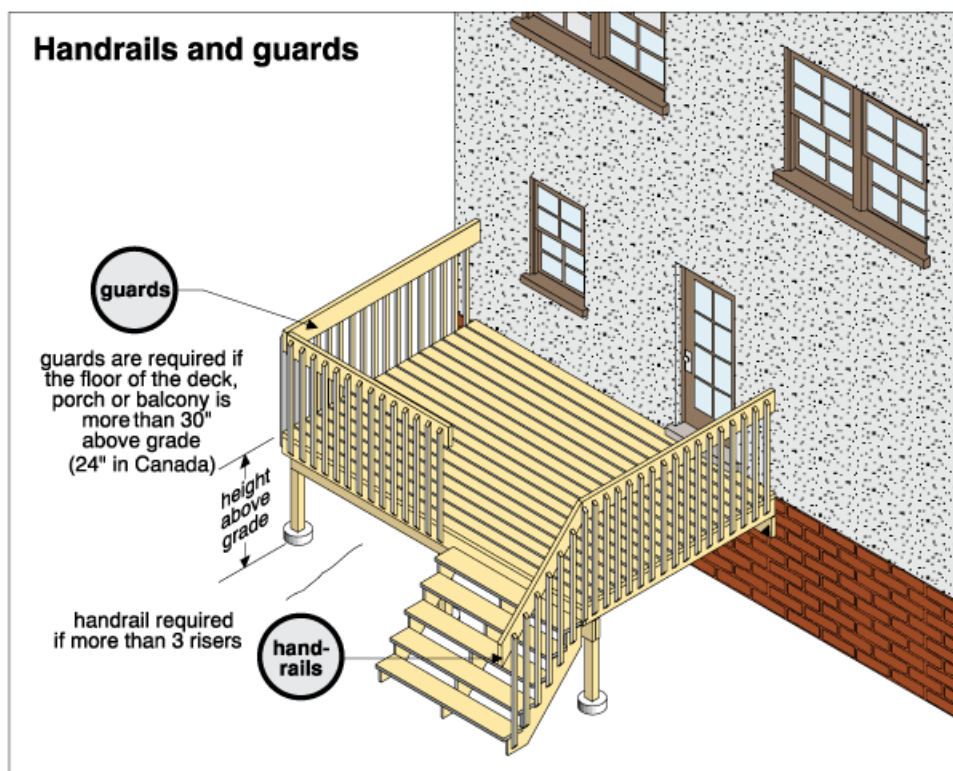
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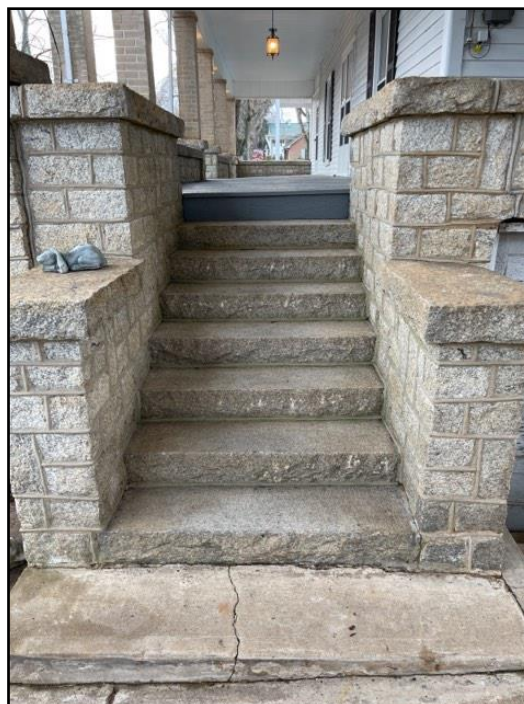
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Time: Immediate

## Handrails and guards



66. Missing Handrail



67. Missing Handrail

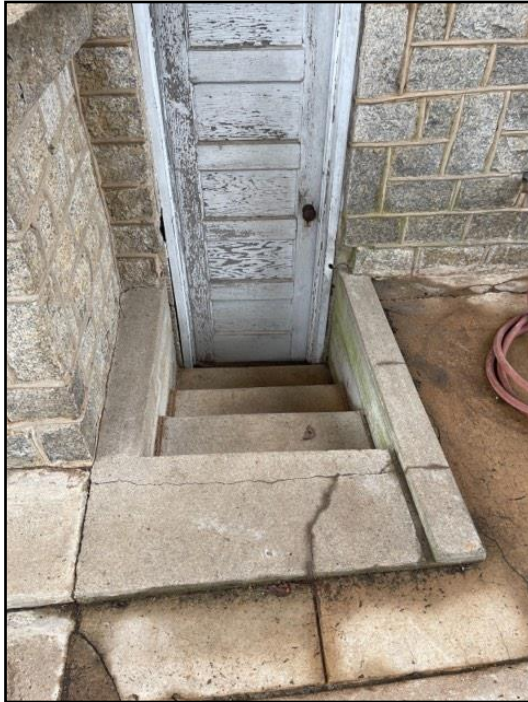
# EXTERIOR

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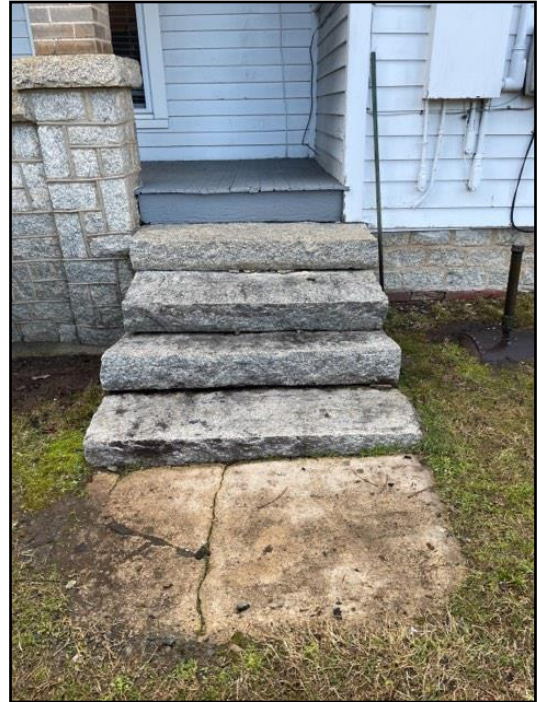
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68. Missing Handrail



69. Missing Handrail

26. Condition: • [Missing](#)

Implication(s): Fall hazard

Location: Right Side Porch

Task: Repair

Time: Immediate



70. Missing Hand and Guardrail

27. Condition: • [Missing](#)

Because this roof is flat and accessible by a door, from the second floor, it should have railings around the total perimeter



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or at minimum around a specific area accessible from the door.

**Implication(s):** Fall hazard

**Location:** Second Floor Balcony

**Task:** Repair

**Time:** Immediate



71. Missing guardrails

**28. Condition:** • [Loose](#)

**Implication(s):** Fall hazard

**Location:** Right Side Porch

**Task:** Repair

**Time:** Immediate

**29. Condition:** • [Spindles \(balusters\) missing](#)

**Implication(s):** Fall hazard

**Location:** Right Side Porch

**Task:** Repair

**Time:** Immediate

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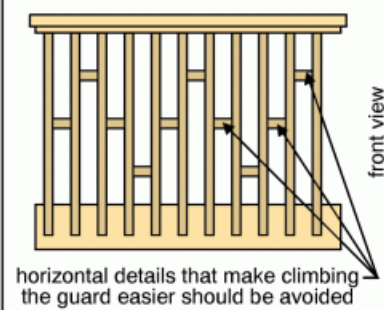
## Spindle spacing

spindles should be spaced so that a 4" (6" in some areas) sphere cannot pass through the guard

spindles  
(balusters)

4" diameter sphere  
(6" in some  
jurisdictions)

### construction note:



72. Spindles (balusters) missing

**30. Condition:** • Handrail hard to hold.

**Implication(s):** Fall hazard

**Location:** Right Side Porch

**Task:** Repair

**Time:** Immediate

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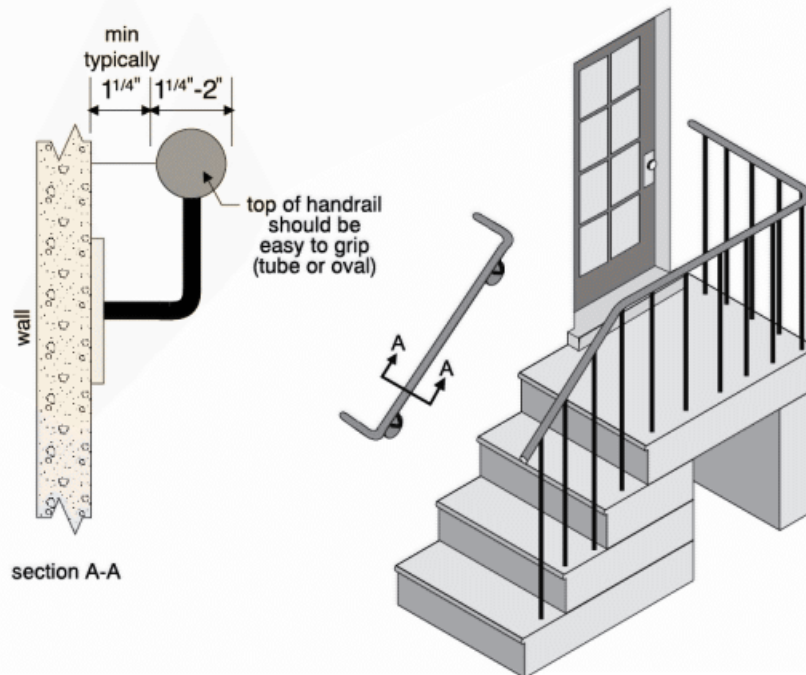
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## Handrail design



73. Handrail hard to hold.

## PORCHES, DECKS, STAIRS, PATIOS AND BALCONIES \ Patios

31. Condition: • [Trip hazards](#)



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**Implication(s):** Physical injury

**Location:** Rear Yard

**Task:** Repair

**Time:** Immediate



74. Trip hazards



75. Trip hazards

## LANDSCAPING \ Lot grading

**32. Condition:** • Improper slope or drainage

**Implication(s):** Chance of water damage to structure, finishes and contents. This issue is commensurate with moisture issues and mold growth. A more detailed inspection, specifically addressing these concerns and mold testing, is advised.

**Location:** Various Yard

**Task:** Repair

**Time:** Immediate

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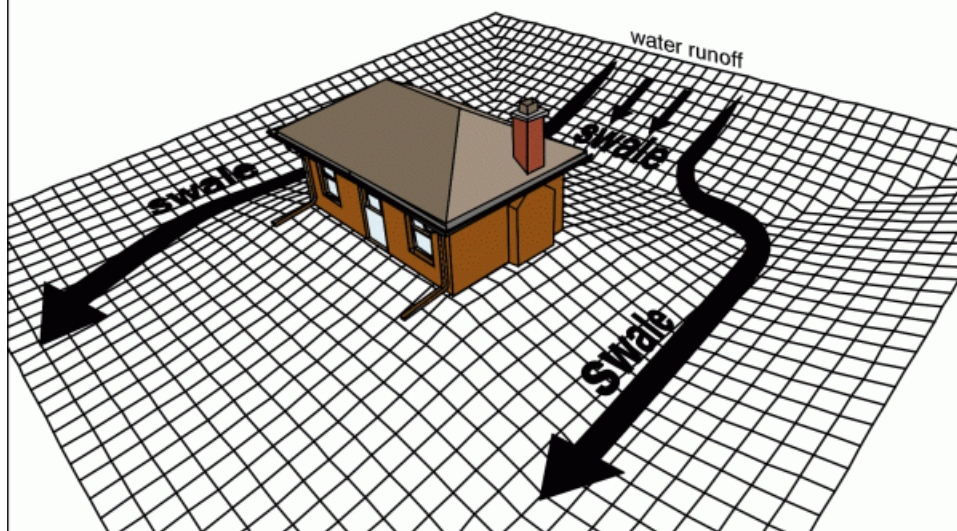
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## Recommended grading slopes



## Swales

when the overall lot drainage is toward the house, swales can be used to direct surface water away from the foundation





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76. Improper slope or drainage



77. Improper slope or drainage



78. Improper slope or drainage



79. Improper slope or drainage



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80. Improper slope or drainage



81. Improper slope or drainage



82. Improper slope or drainage

## LANDSCAPING \ Walkway

33. Condition: • [Cracked or damaged surfaces](#)

Implication(s): Trip or fall hazard

Location: Rear/Front Yard

Task: Monitor

Time: Ongoing



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83. Cracked or damaged surfaces



84. Cracked or damaged surfaces



85. Cracked or damaged surfaces



86. Cracked or damaged surfaces



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87. Cracked or damaged surfaces



88. Cracked or damaged surfaces

34. Condition: • [Uneven \(trip hazard\)](#)

Implication(s): Physical injury

Location: Rear/Front Yard

Task: Repair

Time: Immediate



89. Uneven (trip hazard)



90. Uneven (trip hazard)



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91. Uneven (trip hazard)

**35. Condition:** • Settlement

And/or Heaving

**Location:** Rear/Front Yard

**Task:** Further Evaluation

**Time:** Immediate



92. Settlement



93. Settlement



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94. Settlement

## LANDSCAPING \ Patios

36. Condition: • Cracked or damaged surfaces

Implication(s): Physical injury

Location: Rear Yard

Task: Repair

Time: Immediate



95. Cracked or damaged surfaces



96. Cracked or damaged surfaces

## LANDSCAPING \ Driveway

37. Condition: • [Uneven \(trip hazard\)](#)

Implication(s): Physical injury

Location: Right Side Yard

Task: Repair



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**Time:** Immediate



**97.** Uneven (trip hazard)



**98.** Uneven (trip hazard)

**38. Condition:** • The driveway shows evidence of minor cracking. This does not appear to be cause for concern and is usually caused by improperly placed crack control joints during the original installation. The driveway is serviceable although the cracks may not be aesthetically pleasing.

**Location:** Right Side Yard

**Task:** Monitor

**Time:** Ongoing



**99.** The driveway shows evidence of minor...



**100.** The driveway shows evidence of minor...



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101. The driveway shows evidence of minor...



102. The driveway shows evidence of minor...

## LANDSCAPING \ Retaining wall

39. Condition: • [Leaning](#)

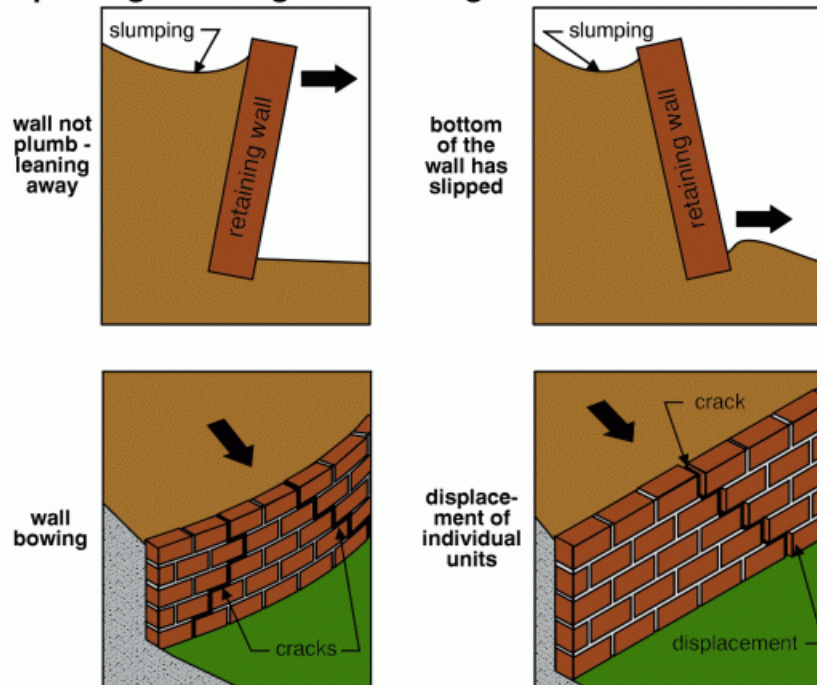
Implication(s): Weakened structure | Chance of movement

Location: Left Side/Rear/Front Yard

Task: Further Evaluation

Time: Immediate

### Inspecting retaining walls - things to watch for





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103. Leaning



104. Leaning



105. Leaning



106. Leaning



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107. Leaning



108. Leaning



109. Leaning

40. Condition: • [Cracked](#)

Implication(s): Weakened structure | Chance of movement

Location: Left Side/ Rear Yard



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**Task:** Monitor

**Time:** Ongoing



110. Cracked



111. Cracked



112. Cracked



113. Cracked



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114. Cracked

41. Condition: • [Settling or shifting](#)

Implication(s): Weakened structure | Chance of movement

Location: Rear Left Yard

Task: Further Evaluation

Time: Immediate



115. Settling or shifting



116. Settling or shifting

42. Condition: • [Mortar - deteriorated, missing](#)

Implication(s): Weakened structure | Chance of movement



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**Location:** Various

**Task:** Repair

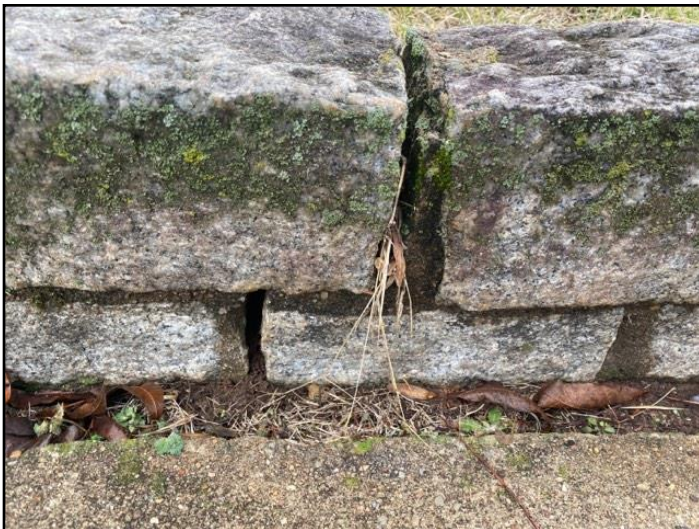
**Time:** Immediate



117. Mortar - deteriorated, missing



118. Mortar - deteriorated, missing



119. Mortar - deteriorated, missing



120. Mortar - deteriorated, missing



# EXTERIOR

175 Some Street, Any Town, NC February 8, 2022

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121. Mortar - deteriorated, missing



122. Mortar - deteriorated, missing

## LANDSCAPING \ Fence

**43. Condition:** • Gate - adjustment needed

**Implication(s):** Reduced operability

**Location:** Front Yard

**Task:** Repair

**Time:** Immediate

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SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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123. Gate - adjustment needed



124. Gate - adjustment needed



125. Gate - adjustment needed

**44. Condition:** • Loose Fence

**Implication(s):** Weakened Structure

**Location:** Front Yard



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**Task:** Repair

**Time:** Immediate



126. Loose Fence



127. Loose Fence

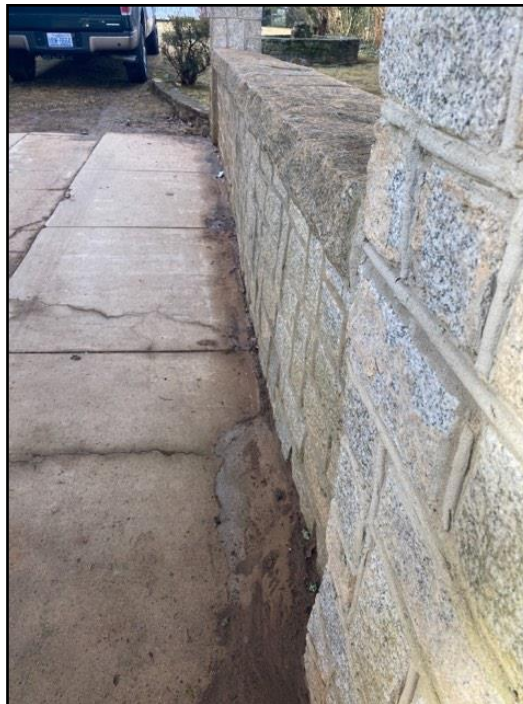
**45. Condition:** • Settlement

**Implication(s):** Weakened Structure

**Location:** Right Side Yard

**Task:** Further Evaluation

**Time:** Immediate



128. Settlement



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## 46. Condition: • Patched Cracks

Location: Right Side Yard

Task: Monitor

Time: Ongoing



129. Patched Cracks



130. Patched Cracks

## 47. Condition: • Cracked

Location: Right Side Yard

Task: Monitor

Time: Ongoing



131.



132.



# STRUCTURE

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## Description

**General:** • The construction of the building appears to be good quality. The materials and workmanship, where visible, appears to be good.

**Configuration:** • Basement and Crawl Space

**Foundation material:** • [Masonry block](#) • [Brick](#) • [Poured concrete](#) • [Stone](#) • Fixed Steel Columns • Brick Columns • Wood Columns • Stone Columns

**Floor construction:** • [Joists](#) • Subfloor - plank

**Exterior wall construction:** • Not visible • [Wood frame](#)

**Roof and ceiling framing:** • Rafters/ceiling joists • [Plank sheathing](#) • Attic(s) Entered • Attic(s) Access Limited • Some Areas of Attic(s) Not Visible

**Roof and ceiling framing:** • Attic Access (Second Floor Rear Bathroom)



133. Attic Access (Bathroom)



134. Rear Attic Access (Bathroom)

**Location of access to under-floor area:**

- Left Side

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**135.** *Crawlspace Access*

- Exterior
- Basement

**Location of access to under-floor area:** • Crawlspace Access



**136.** *Crawlspace Access*



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## Limitations

**Inspection limited/prevented by:** • As prescribed in the pre-inspection contract, this is a visual inspection only. Assessing the structural integrity of a building is beyond the scope of a typical home inspection. A certified professional engineer is recommended where there are structural concerns about the building. • Most concrete slabs experience some degree of cracking due to shrinkage in the drying process. These cracks as well as settlement cracks may be hidden from view by floor coverings or storage. • Structural components concealed behind finished surfaces could not be inspected. • Only a representative sampling of visible structural components were inspected. • Furniture and/or storage may have restricted access to some structural components. • Areas of the attic(s) and/or crawl space(s) which are judged to be unsafe at the sole discretion of the Inspector, for what ever reason, including but not limited to inadequate access or space, lack of adequate walkway supports, high water, high temperatures, heavy insect, varmint or pet activity are not inspected other than from the access location. • Engineering or architectural services such as calculation of structural capacities, adequacy, or integrity are not part of a building inspection. • Please refer to the pre-inspection contract for a full explanation of the scope of the inspection, "Areas to Be Observed and Conditions Reported" and "Specific Limitations and Exclusions". • Ceiling, wall and floor coverings • Carpet/furnishings • New finishes/paint • Insulation

**Attic/roof space:** • Entered but access was limited

**Crawlspace:** • Entered but access was limited

## Recommendations

### FOUNDATIONS \ Columns or piers

**48. Condition:** • [Leaning](#)

**Implication(s):** Weakened structure | Chance of structural movement

**Location:** Left Side Rear Crawlspace

**Task:** Repair

**Time:** Immediate

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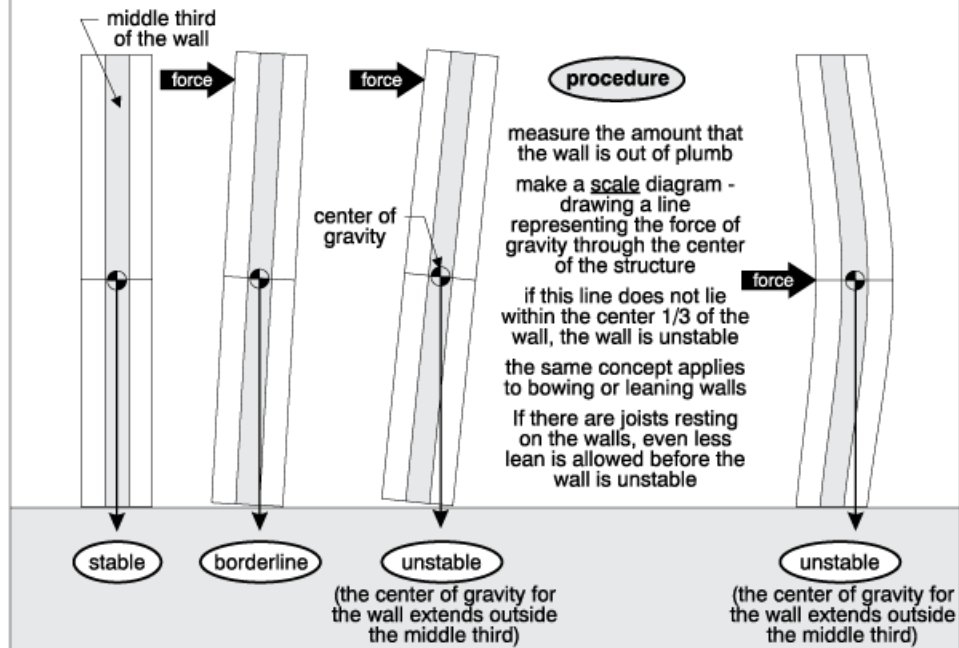
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## The 1/3 rule for wall stability



137. Leaning

49. Condition: • [Missing](#)

Implication(s): Chance of structural movement

Location: Front Crawlspace

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**Task:** Repair

**Time:** Immediate



138. Missing Support Columns

**50. Condition:** • Poorly secured footing

**Implication(s):** Weakened Structure

**Location:** Front Crawlspace

**Task:** Repair

**Time:** Immediate



139. Poorly secured footing



140. Poorly secured footing



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141. Poorly secured footing



142. Poorly secured footing

## FOUNDATIONS \ General notes

**51. Condition:** • Typical minor cracks

**Implication(s):** Chance of water entering building

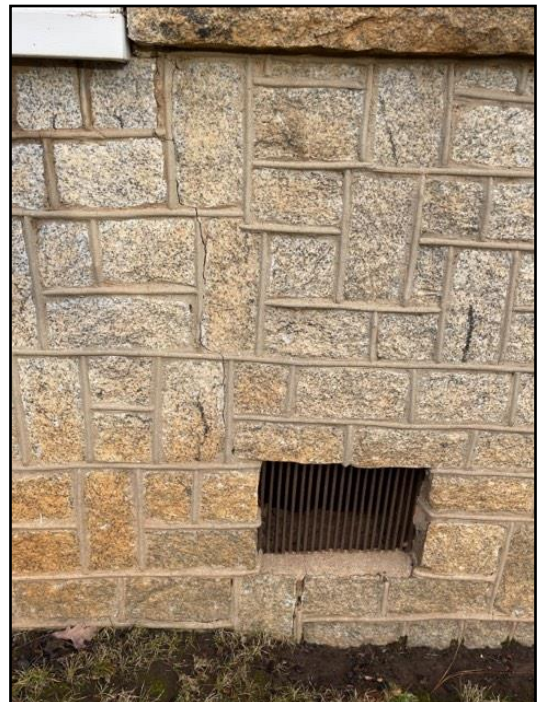
**Location:** Left Exterior Wall

**Task:** Monitor

**Time:** Ongoing



143. Typical minor cracks



144. Typical minor cracks



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145. Typical minor cracks



146.



147. Typical minor cracks

**52. Condition:** • [Bowed, bulging or leaning](#)

**Implication(s):** Weakened structure | Chance of structural movement

**Location:** Right Foundation

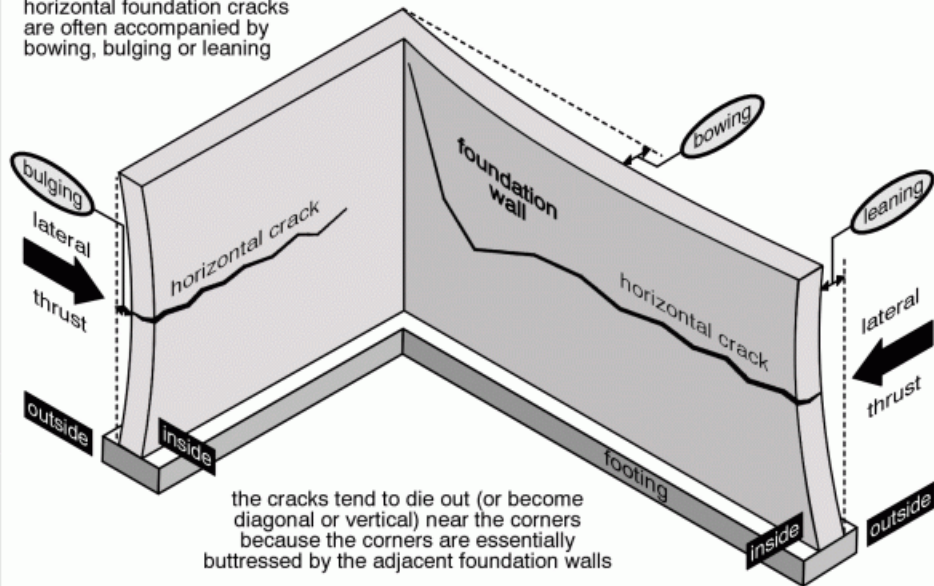
**Task:** Further Evaluation

**Time:** Immediate

SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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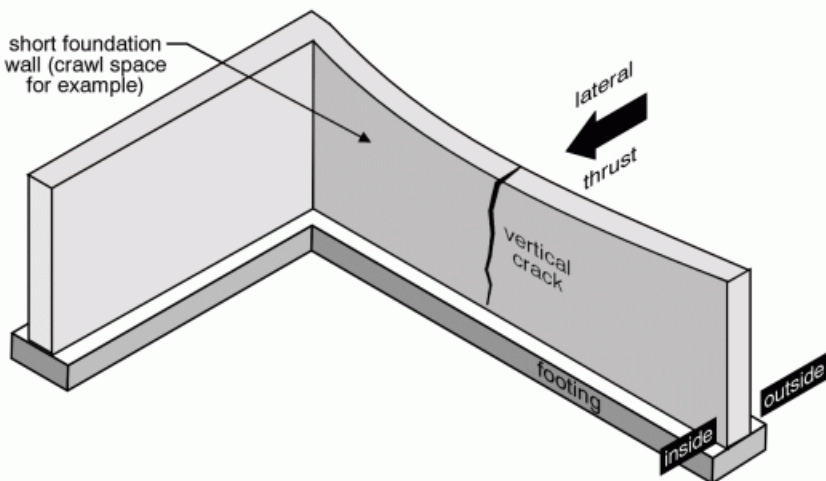
## Foundation movement associated with horizontal cracks

horizontal foundation cracks are often accompanied by bowing, bulging or leaning



## Vertical foundation cracks

short foundation wall (crawl space for example)



in short foundation walls, horizontal forces can also cause vertical cracks (typically at the midpoint of the walls)



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148. Bowed, bulging or leaning



149. Bowed, bulging or leaning



150. Bowed, bulging or leaning



151. Movement caused by foundation movement

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**152.** *Movement caused by foundation movement*

**53. Condition:** • Basement lowered

**Implication(s):** Chance of structural movement.

**Location:** Basement

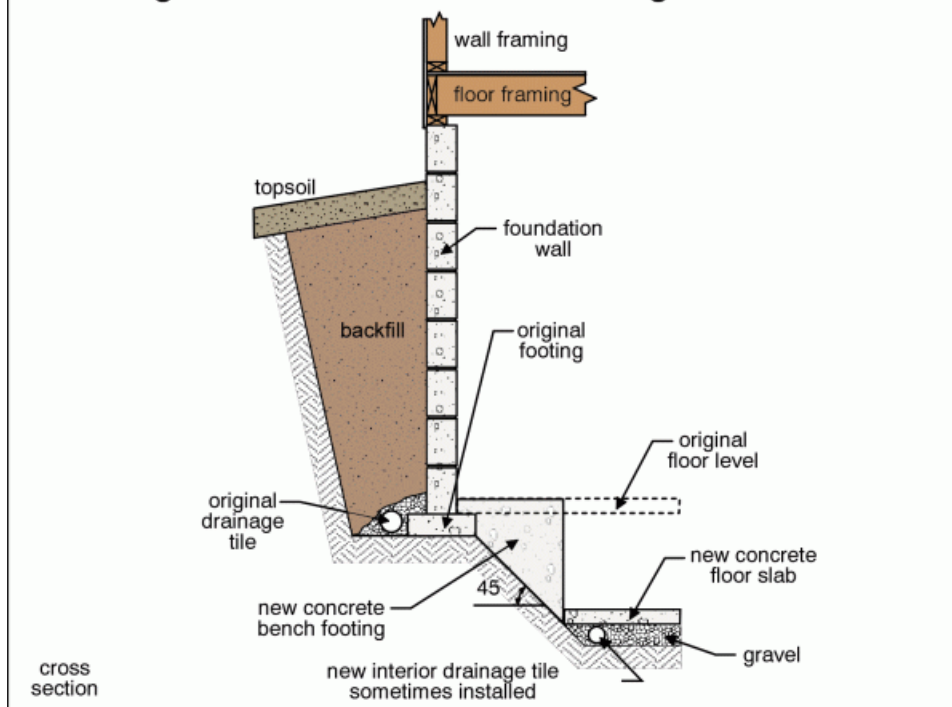
**Task:** Monitor

**Time:** Ongoing

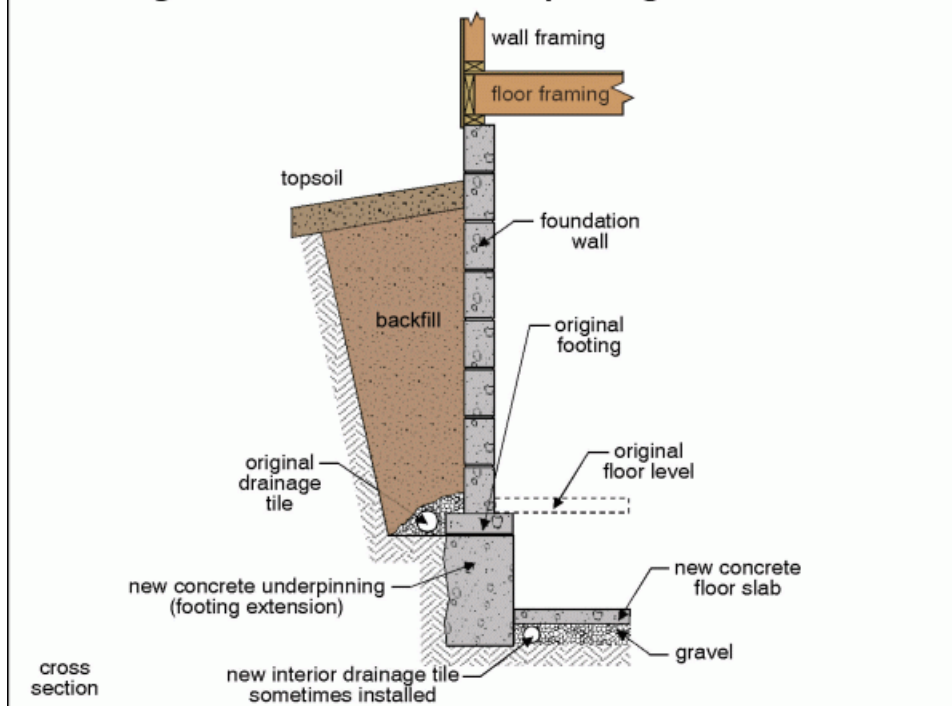


SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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## Lowering basement floors - bench footing



## Lowering basement floors - underpinning



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153. Basement lowered

54. Condition: • [Prior repairs](#)

Implication(s): Weakened structure

Location: Right Side Crawlspace

Task: Further Evaluation

Time: Immediate



154. Prior repairs

55. Condition: • Evidence of wood destroying insects.

Implication(s): Weakened structure

Location: Various First Floor (above crawlspace)

Task: Further Evaluation

Time: Immediate



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**155.** Evidence of wood destroying insects.



**156.** Evidence of wood destroying insects.



**157.** Evidence of wood destroying insects.



**158.** Evidence of wood destroying insects.



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159. Evidence of wood destroying insects.



160. Evidence of wood destroying insects.

## FOUNDATIONS \ Beams (Girders)

56. Condition: • [Poor bearing, crushed or loose shims](#)

Implication(s): Weakened structure | Chance of structural movement

Location: Front Crawlspace

Task: Repair

Time: Immediate



161. Poor bearing, crushed or loose shims



162. Poor bearing, crushed or loose shims

## FLOORS \ Joists

57. Condition: • [Notches or holes](#)

Implication(s): Weakened structure

Location: Front and Rear Crawlspace

Task: Repair

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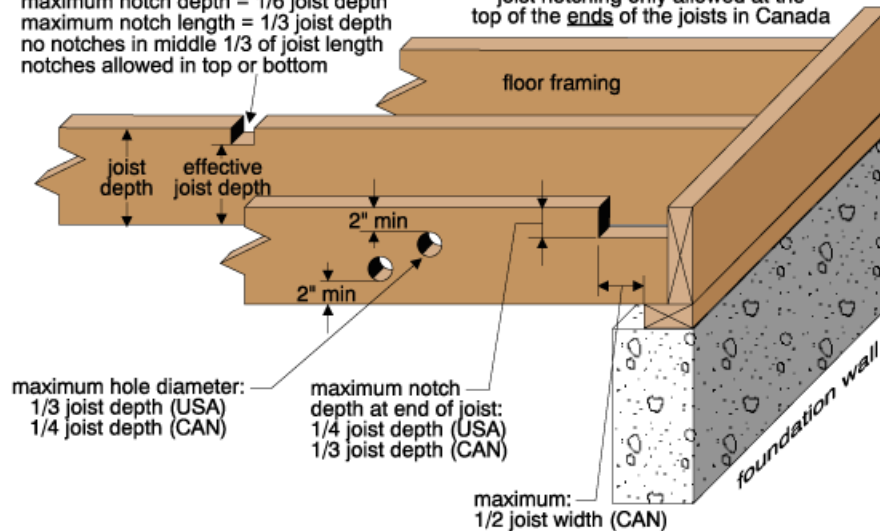
REFERENCE

Time: Immediate

## Joist notching and drilling

maximum notch depth =  $\frac{1}{6}$  joist depth  
maximum notch length =  $\frac{1}{3}$  joist depth  
no notches in middle  $\frac{1}{3}$  of joist length  
notches allowed in top or bottom

**note:**  
joist notching only allowed at the top of the ends of the joists in Canada



163. Notches or holes



164. Notches or holes



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165. Notches or holes



166. Notches or holes

58. Condition: • [Sag or springy](#)

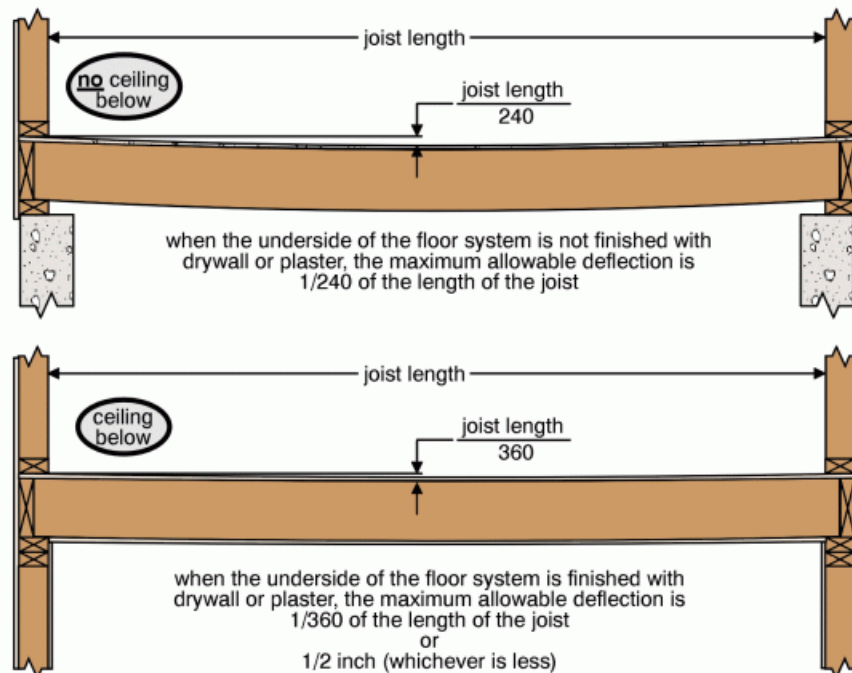
Implication(s): Chance of structural movement | Bouncy, springy floors

Location: Various First and Second Floor

Task: Further Evaluation

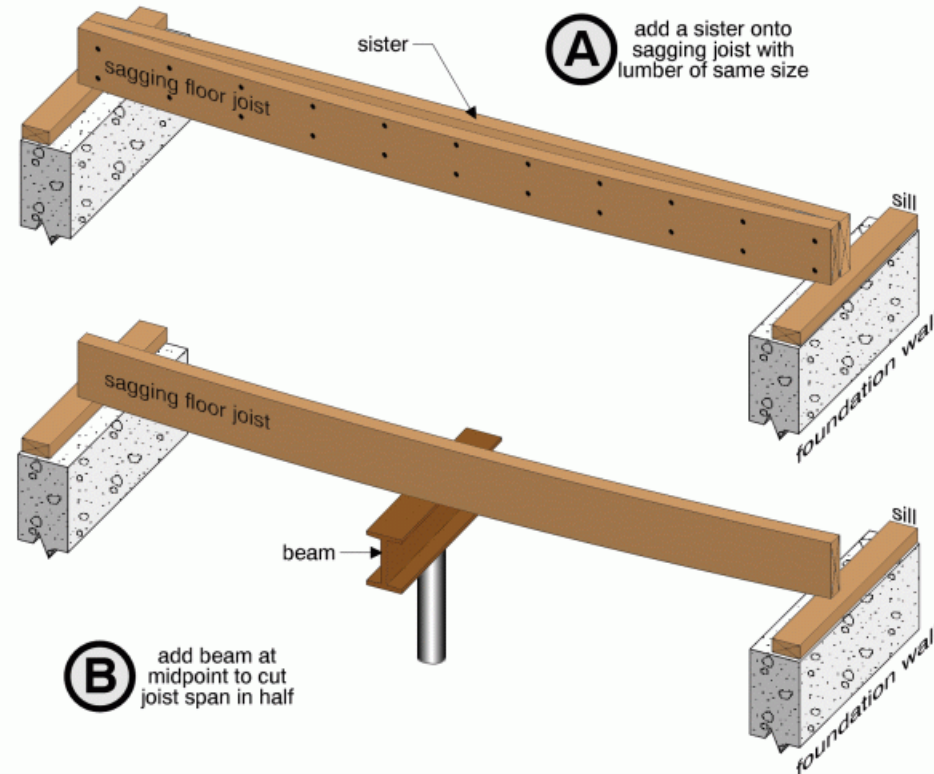
Time: Immediate

## Allowable floor deflections

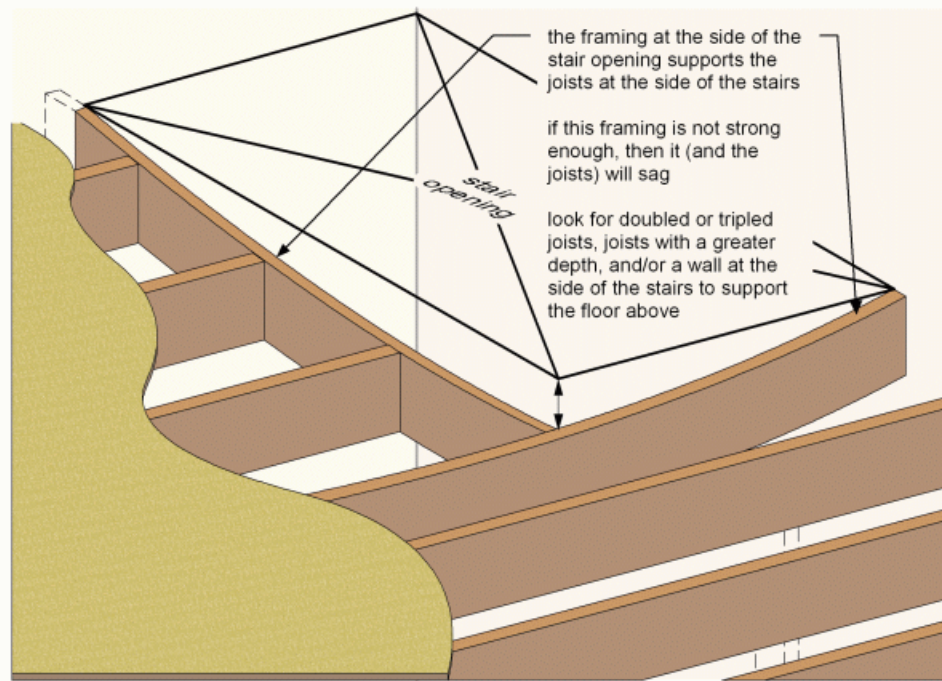


SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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## Two methods for improving sagging joists



## Excessive sagging around under-framed stair openings





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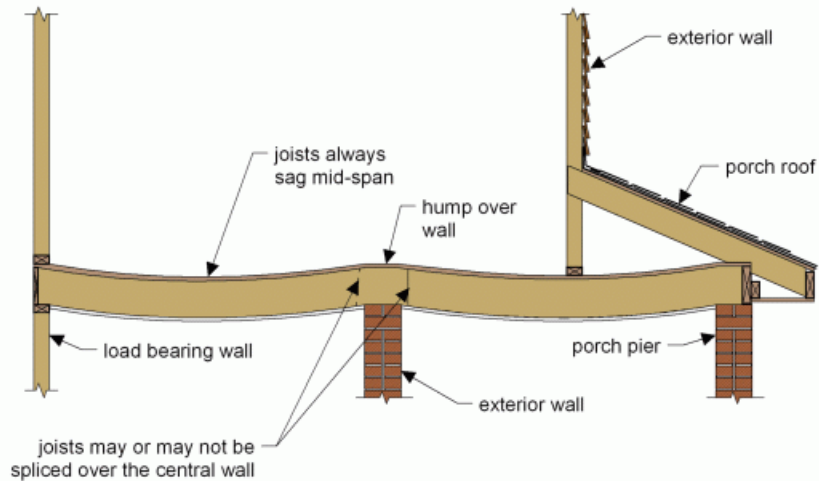
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## Hump in floor due to joists extending over solid masonry wall



### 59. Condition: • [Sag or springy](#)

**Implication(s):** Chance of structural movement | Bouncy, springy floors

**Location:** Front Left Crawlspace

**Task:** Repair

**Time:** Immediate



167. Sag

SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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## 60. Condition: • [Poor end bearing, joist hanger connections](#)

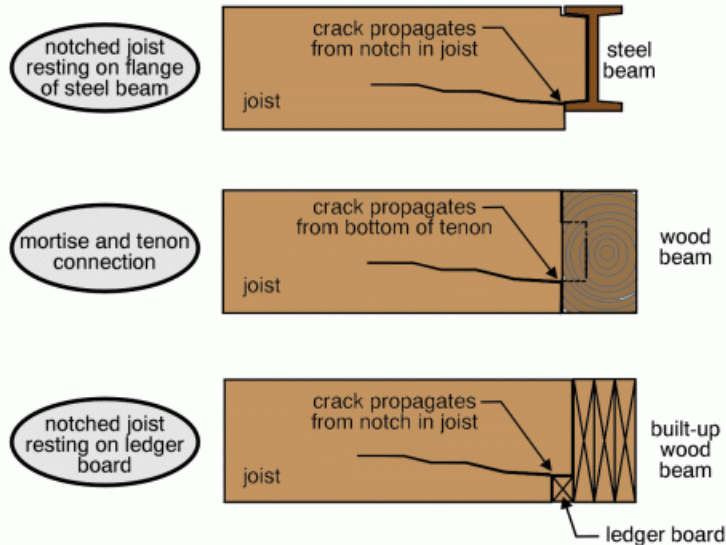
**Implication(s):** Weakened structure | Chance of structural movement

**Location:** Various Crawlspace

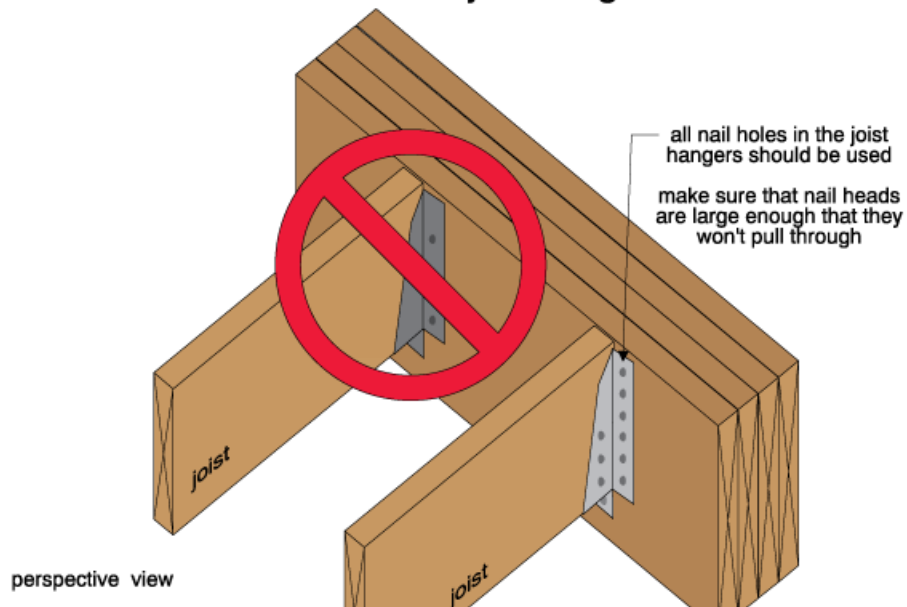
**Task:** Repair

**Time:** Immediate

### Examples of weak joist/beam connections



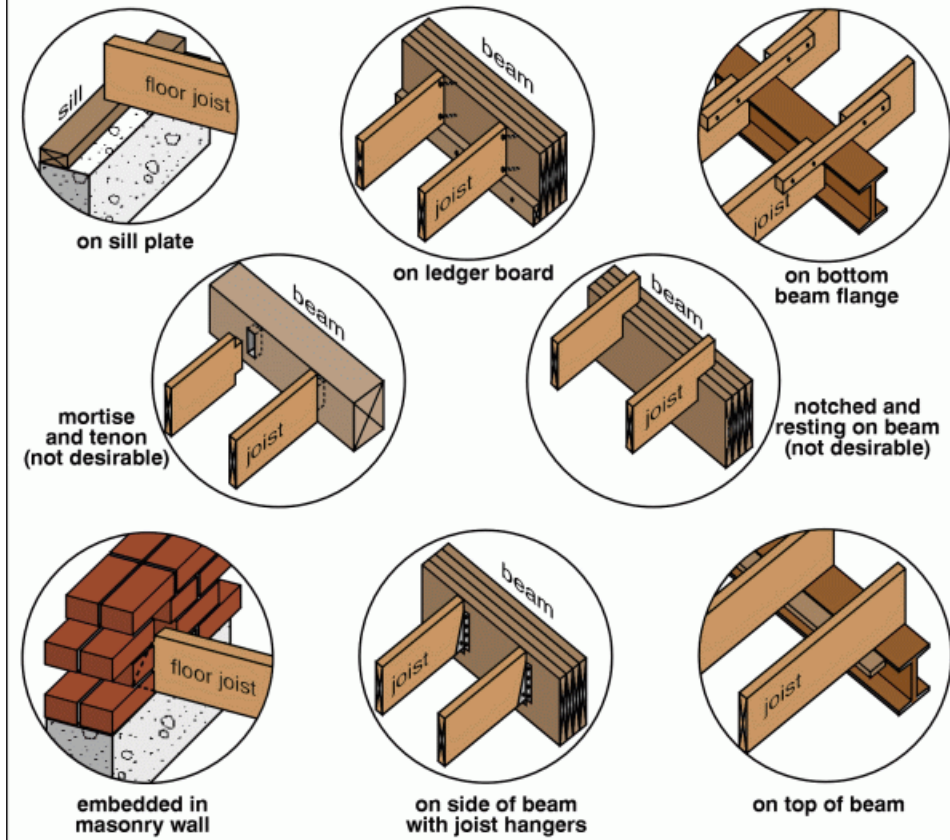
### Watch for insufficient nails in joist hangers





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## Different types of joist end support



168. Poor end bearing, joist hanger connections



169. Poor end bearing, joist hanger connections

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170. Poor end bearing, joist hanger connections



171. Poor end bearing, joist hanger connections



172. Poor end bearing, joist hanger connections

61. Condition: • [Prior repairs](#)

**Implication(s):** Weakened structure | Chance of structural movement

**Location:** Rear Center Crawlspace

**Task:** Further Evaluation

**Time:** Immediate



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173. Prior repairs

**62. Condition:** • [Rot](#)

**Implication(s):** Weakened structure

**Location:** Rear Center Crawlspace

**Task:** Repair

**Time:** Immediate



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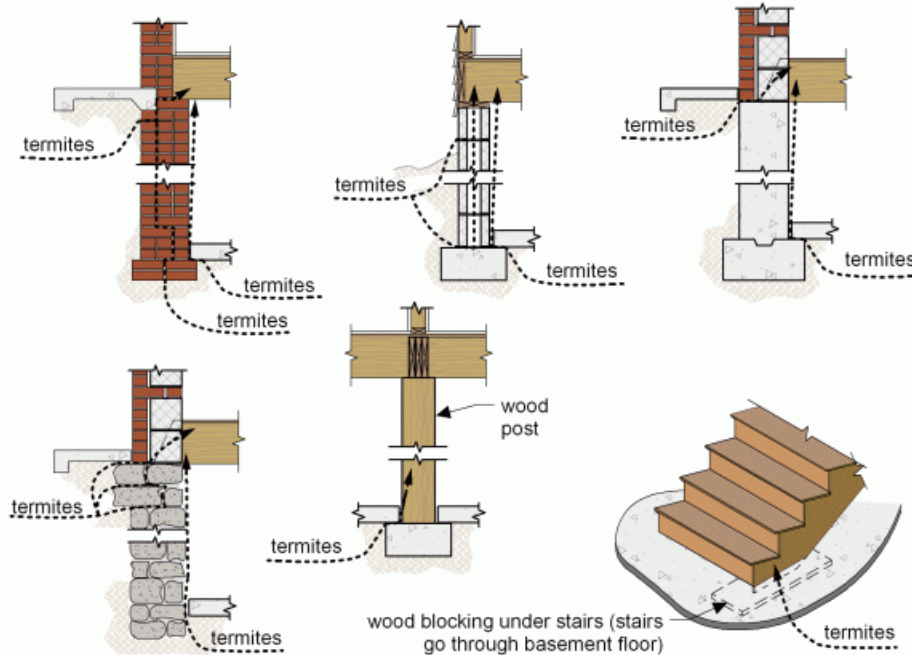
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## Inspecting for subterranean termites - interior



174. Rot

### FLOORS \ Sheathing/Subflooring

**63. Condition:** • Sagging

**Implication(s):** Weakened structure | Chance of structural movement

**Location:** Right Side Basement

**Task:** Repair

**Time:** Immediate

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175. Sagging



176. Sagging

64. Condition: • Rot

Implication(s): Weakened structure | Chance of structural movement

Location: Front Right Crawlspace

Task: Further Evaluation

Time: Immediate



177. Rot

## WALLS \ Wood frame walls

65. Condition: • [Notches or holes](#)



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**Implication(s):** Weakened structure

**Location:** Front Left Side of Rear Attic

**Task:** Repair

**Time:** Immediate



178. Notches or holes

## ROOF FRAMING \ Rafter/trusses

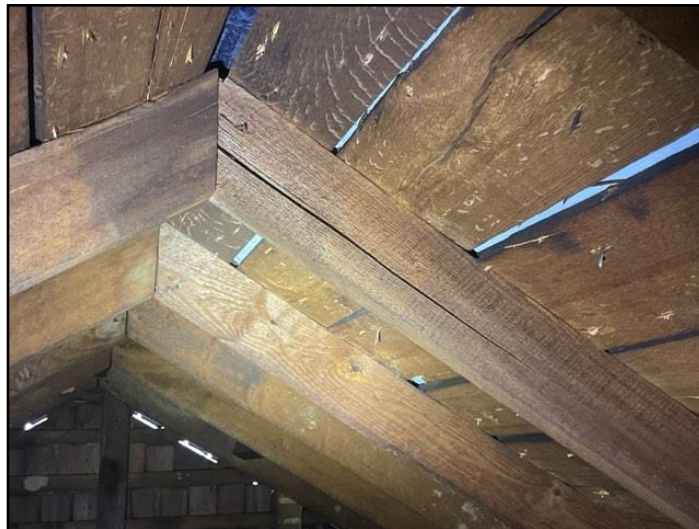
66. Condition: • [Split](#)

**Implication(s):** Weakened structure | Chance of structural movement

**Location:** Main Attic

**Task:** Repair

**Time:** Immediate



179. Split Rafter

67. Condition: • [Sagging](#)

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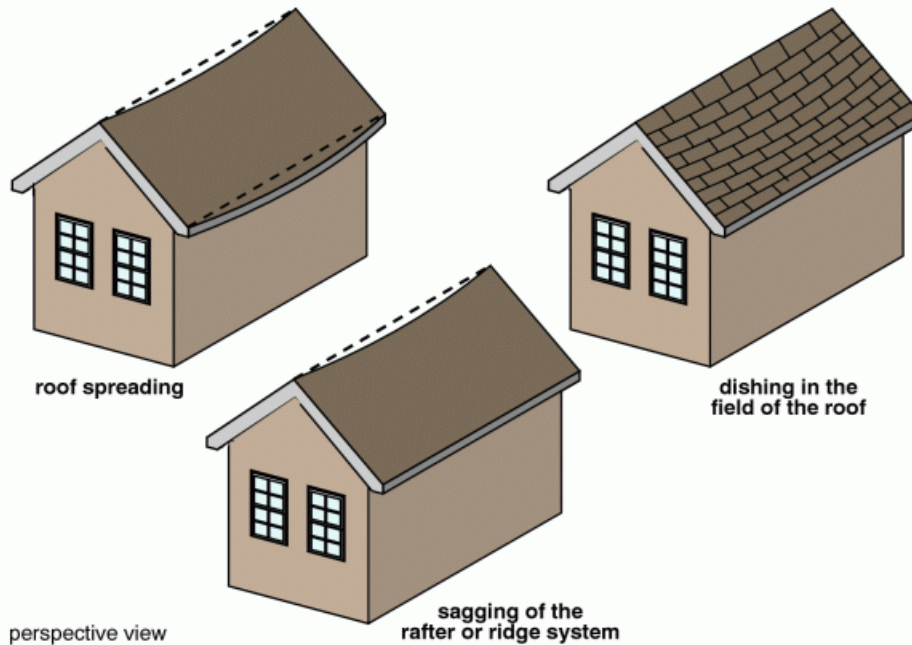
**Implication(s):** Weakened structure | Chance of structural movement

**Location:** Various Roof

**Task:** Repair

**Time:** Immediate

## Roof spreading, dishing and sagging



180. Sagging Rafters



181. Sagging Rafters



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182. Sagging Rafters

## ROOF FRAMING \ Ceiling joists

68. Condition: • Sag

Location: Rear Right Living Room

Task: Further Evaluation

Time: Immediate



183. Sag



184. Sag

69. Condition: • Sag

Location: Kitchen

Task: Further Evaluation

Time: Immediate

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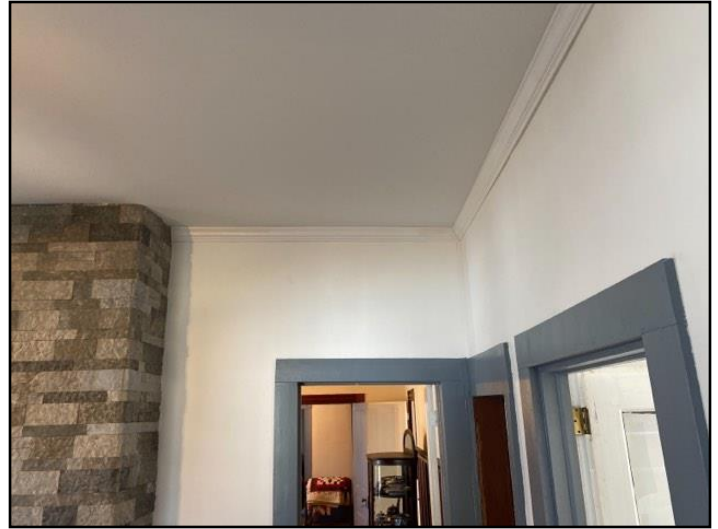
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185. Sag



186. Sag

## ROOF FRAMING \ Sheathing (roof/attic)

**70. Condition:** • Water stains

**Implication(s):** Material deterioration, chance of water damage to structure, finishes and contents, This issue is commensurate with moisture issues and mold growth. A more detailed inspection, specifically addressing these concerns and mold testing, is advised.

**Location:** Various Attic

**Task:** Further Evaluation

**Time:** Immediate



187. Water stains



188. Water stains



# STRUCTURE

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Report No. 6580

<https://www.blackcatinspectionservices.com>

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189. Water stains



190. Water stains



191. Water stains



192. Water stains

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193. Water stains

## ROOF FRAMING \ Beams/Girders (roof/attic)

**71. Condition:** • Missing

Missing Ridge Beam

**Implication(s):** Chance of structural movement

**Location:** Main Attic

**Task:** Repair

**Time:** Immediate



194. Missing Ridge Beam



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**72. Condition:** • Undersized Ridge Beam - Properly sized ridge beams should be a one size larger member than the rafters bearing on it, depending on roof pitch, or wider than the rafter angle cut bearing on it.

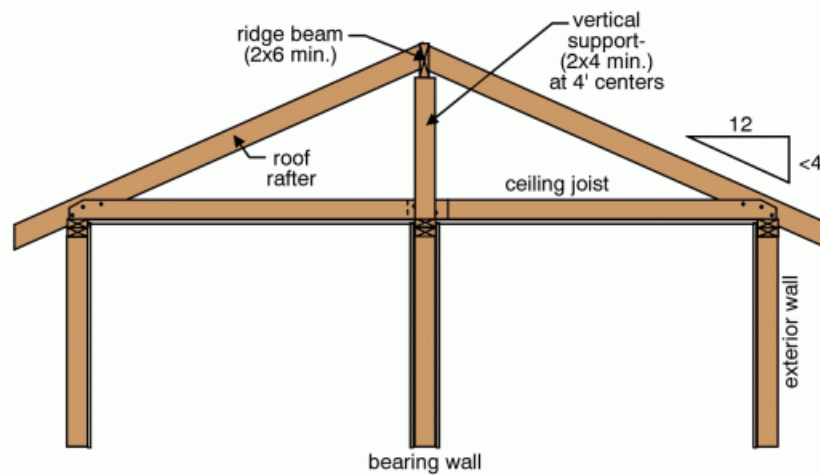
**Location:** Lower Attic

**Task:** Repair

**Time:** Immediate

## Ridge support

roof ridge support is required when the roof slope is less than 4 in 12. This can be a continuous wall extending from bearing wall to ridge or a ridge beam (2x6 minimum) supported every 4' with vertical members (2x4 minimum)



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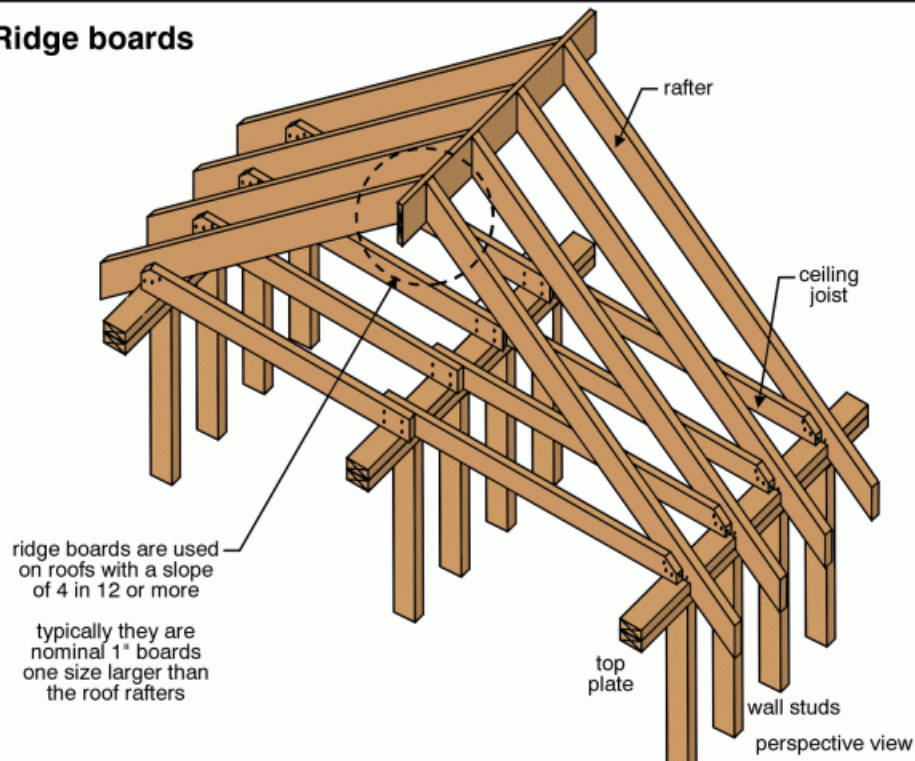
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## Ridge boards



195. Undersized Ridge Beam - Properly sized ridg...

73. Condition: • Spliced Rafters

Implication(s): Weakened Structure



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**Location:** Lower Attic

**Task:** Further Evaluation

**Time:** Immediate



196.



197.



198.

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## Description

**General:** • All visible 110-volt wiring within the home is copper. This is a good quality electrical conductor.

**Service entrance cable and location:**

- Electrical Service Entrance - Overhead type not determined



199. Electrical Service Entrance

**Service size:** • [150 Amps \(240 Volts\)](#)

**Main disconnect/service box rating:** • [150 Amps](#)

**Main disconnect/service box type and location:**

- Main Electrical Distribution Panel - Breakers Exterior Wall

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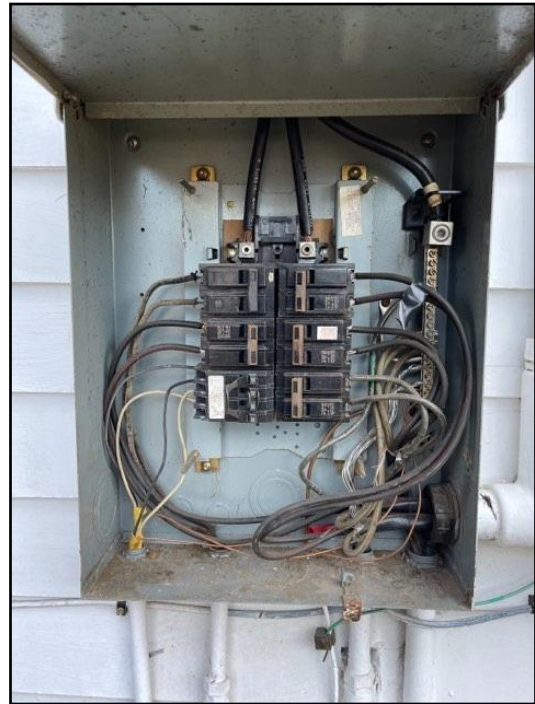
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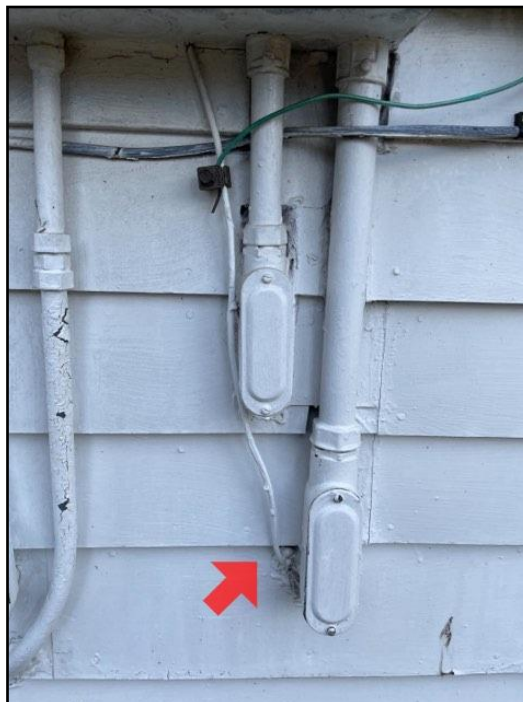
200. Main Electrical Distribution Panel



201. Main Electrical Distribution Panel

## System grounding material and type:

- Ground Wire or Bond - Copper Water Pipe



202. Ground Wire Bond



**Auxiliary panel (subpanel) type and location:**

- [Fuses - exterior wall](#)



203. Auxiliary Distribution Panel



204. Auxiliary Distribution Panel

**Auxiliary panel (subpanel) rating:**

- [60 Amps](#)

Each of two panels

**Distribution wire (conductor) material and type:** • [Copper - non-metallic sheathed](#) • [Aluminum - non-metallic sheathed](#) • Aluminum to major appliances • [Copper - knob and tube](#)

**Type and number of outlets (receptacles):** • [Grounded and ungrounded - typical](#)

**Circuit interrupters: Ground Fault (GFCI) & Arc Fault (AFCI):** • None

**Smoke alarms (detectors):** • [Present](#)

**Carbon monoxide (CO) alarms (detectors):** • None noted

## Limitations

**Inspection limited/prevented by:** • As prescribed in the pre-inspection contract, this is a visual inspection only. The inspection does not include remote control devices, low voltage systems, telephone wiring, intercoms, alarm systems and components, TV cable, timers or smoke detectors, ancillary wiring and other components which are not part of the primary electrical power distribution system. • Electrical components concealed behind finished surfaces are not inspected. • Only a representative sampling of outlets and light fixtures were tested. • Please refer to the pre-inspection contract for a full explanation of the scope of the inspection, "Areas to Be Observed and Conditions Reported" and "Specific Limitations and Exclusions".

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• Furniture and/or storage may have restricted access to some electrical components, which may not be inspected. • Storage • Insulation • Restricted access

**System ground:** • Continuity not verified • Quality of ground not determined

**Circuit labels:** • The accuracy of the circuit index (labels) was not verified.

## Recommendations

### **SERVICE DROP AND SERVICE ENTRANCE \ Service drop**

**74. Condition:** • [Height over deck](#)

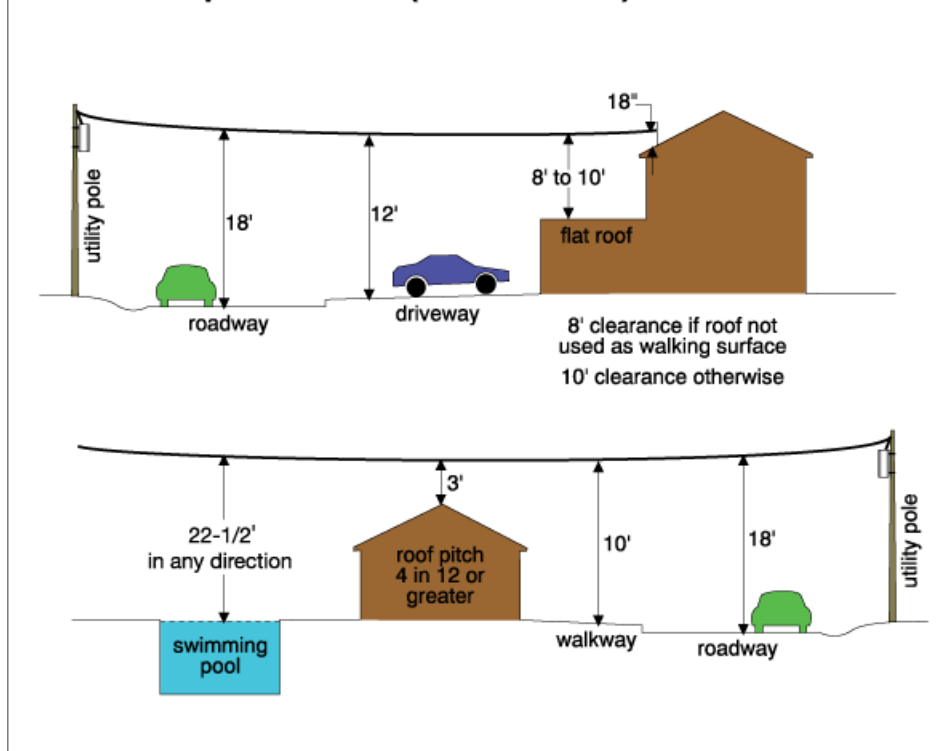
**Implication(s):** Electric shock

**Location:** Right Exterior

**Task:** Repair

**Time:** Immediate

#### **Service drop clearances (United States)**



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205. Height over deck

## **SERVICE BOX, GROUNDING AND PANEL \ System grounding**

**75. Condition:** • The adequacy of the grounding of the electrical service is questionable. There is no driven ground rod. The service should be grounded to a driven ground rod, as is currently required, along with the existing bonding to the water lines. The issue with grounding to water pipe is that the pipe to the water main must be metal and there should be continuity across the water meter. Depending on the distance of the water line to the meter, the water main may need to be metal. If any of this does not exist or is changed to a non-metallic pipe the ground will be inadequate. For safety adding a driven ground is recommend.

**Task:** Further evaluation

**Time:** Immediate

## **SERVICE BOX, GROUNDING AND PANEL \ Auxiliary panel (subpanel)**

**76. Condition:** • Rust

**Implication(s):** Water Damage

**Location:** Right Side Porch

**Task:** Further Evaluation

**Time:** Immediate



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206. Rust



207. Rust

**77. Condition:** • Painted Shut

**Implication(s):** cant access

**Location:** Right Side Porch

**Task:** Repair

**Time:** Immediate

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208. Painted Shut

## DISTRIBUTION SYSTEM \ Knob-and-tube wiring (wires)

78. Condition: • [Replace when renovating](#)

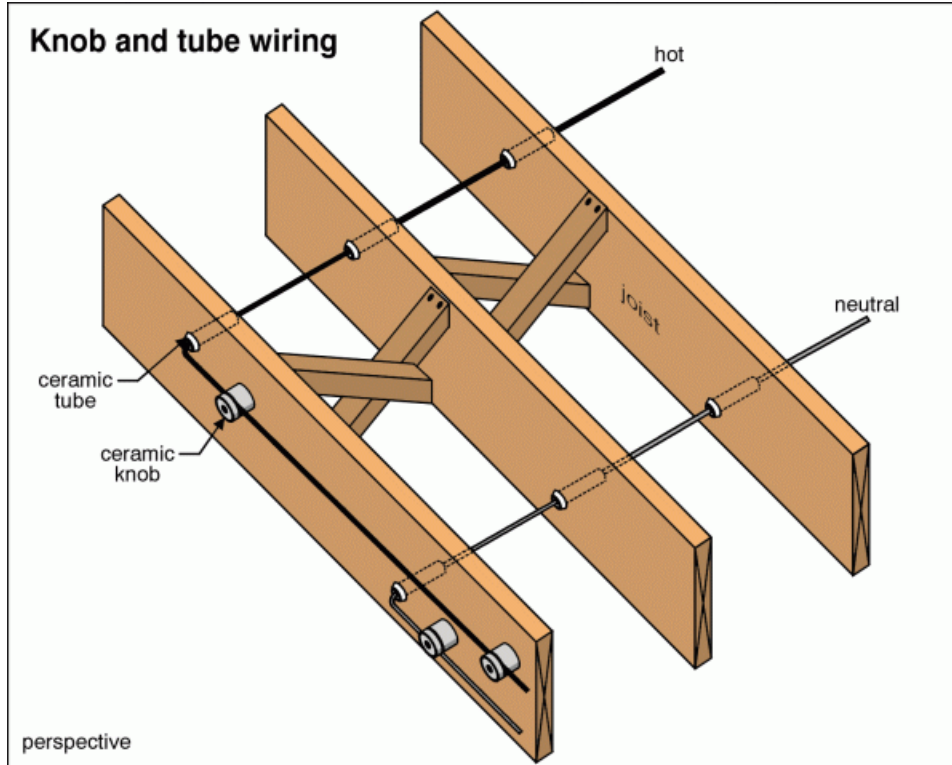
Implication(s): Nuisance | Potential problem when obtaining home insurance

Location: Various

Task: Improve

Time: Discretionary

## Knob and tube wiring



### DISTRIBUTION SYSTEM \ Wiring (wires) - installation

**79. Condition:** • [Open splices](#)

**Implication(s):** Electric shock | Fire hazard

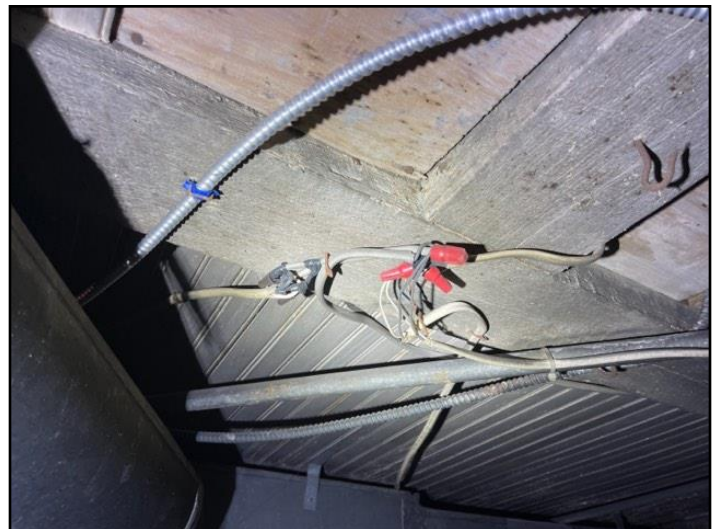
**Location:** Rear Exterior Wall and Basement and Crawlspace

**Task:** Repair

**Time:** Immediate



**209.** Open splices



**210.** Open splices



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211. Open splices

## DISTRIBUTION SYSTEM \ Wiring (wires) - damaged or exposed

**80. Condition:** • Exposed Electrical Wiring

**Implication(s):** Electric shock

**Location:** Kitchen and Well Room

**Task:** Repair

**Time:** Immediate



212. Exposed Electrical Wiring



213. Exposed Electrical Wiring

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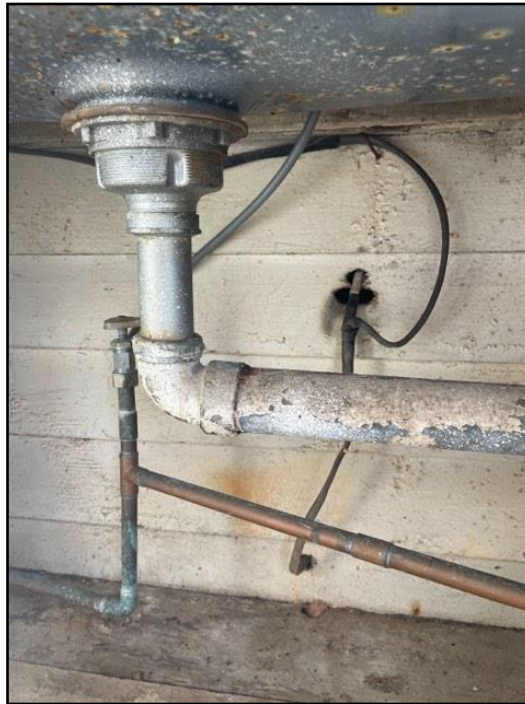
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214. Exposed Electrical Wiring

## DISTRIBUTION SYSTEM \ Junction boxes

81. Condition: • [Cover loose or missing](#)

Implication(s): Electric shock | Fire hazard

Location: Lower Attic

Task: Repair

Time: Immediate



215. Cover missing

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## DISTRIBUTION SYSTEM \ Outlets (receptacles)

**82. Condition:** • [Damage](#)

**Implication(s):** Electric shock | Fire hazard

**Location:** Rear Right Office Area

**Task:** Repair

**Time:** Immediate



**216.** *Damaged Outlet*

**83. Condition:** • [Inoperative](#)

**Implication(s):** Equipment inoperative

**Location:** Laundry Room

**Task:** Repair

**Time:** Immediate

**84. Condition:** • [Open hot](#)

**Implication(s):** Electric shock

**Location:** Right Side Porch

**Task:** Repair

**Time:** Immediate

**85. Condition:** • The installation of ground fault circuit interrupter (GFCI) devices is advisable on exterior, garage, crawl space, basement, attic, wet bar, laundry room, work shop and kitchen outlets or any outlet within 6' of a water source. Any whirlpool, hot tub, therapeutic pool, or swimming pool equipment should also be fitted with GFCIs. A ground fault circuit interrupter (GFCI) offers protection from shock or electrocution.

**Task:** Improve

**Time:** Discretionary

**86. Condition:** • Ungrounded 3-prong outlets should be repaired. In some cases a ground wire may be present in the electrical box and simply needs to be connected. If no ground is present since having a ground increases safety, a grounded circuit could be strung to this outlet, or a separate ground wire could be connected. Some electrical codes allow the installation of a ground fault circuit interrupter (GFCI) type outlet where grounding is not provided. In this case



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the GFCI may work but cant be tested by normal means.

**Implication(s):** Electrical Shock Hazard

**Location:** Various

**Task:** Repair

**Time:** Immediate

## **DISTRIBUTION SYSTEM \ Lights**

**87. Condition:** • Light bulbs are missing or burned out in various light fixtures throughout the building. We do not state locations, when we find one, typically there are more. All bulbs were requested to be replaced and operative. All bulbs, and fixtures, should be checked for proper function and replaced as found necessary.

**Implication(s):** Poor lighting and possible issues with the fixture

**Location:** Various

**Task:** Repair

**Time:** Immediate

**88. Condition:** • Light fixture globe is missing.

**Location:** Rear Exterior Wall

**Task:** Repair

**Time:** Immediate



**217.** *Light fixture globe is missing.*

## **DISTRIBUTION SYSTEM \ Smoke alarms (detectors)**

**89. Condition:** • Missing

**Implication(s):** Safety issue

**Location:** Throughout Bedrooms

**Task:** Repair

**Time:** Immediate

**90. Condition:** • The installation of interconnected (one goes off they all go off) smoke detectors/alarms, connected to the power source with battery backup, outside every sleeping area, in every room used for sleeping and one on every level including basements and cellars is recommended for improved safety. At minimum battery operated detectors should be

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installed in these locations. Be aware if any work is performed on this home that requires a permit wired detectors could be a requirement of that permit. Many municipalities have or may soon require this. There are some exceptions for battery operated and not interconnected under certain circumstances such as when wiring cannot be installed without removing finishes. Its a good idea to also add one in the garage. If you demand this repair from a seller please be sure and make it clear whether you are demanding wired detectors or will accept battery operated detectors. There is a major difference in the cost and work required!

**Task:** Further evaluation

**Time:** Immediate

## DISTRIBUTION SYSTEM \ Carbon monoxide (CO) alarms (detectors)

**91. Condition:** • None observed

Recommend installation of either battery-operated or electrical carbon monoxide detectors because this home has a fossil-fuel (gas, propane or wood) burning heater or appliance, fireplace, or an attached garage. A detector should be installed in every enclosed space having a fossil burning heater, appliance, or fireplace and in any enclosed space, including sleeping room, that shares a common wall, floor, or ceiling with an enclosed space having a fossil fuel burning heater appliance, or fireplace. Carbon Monoxide is a silent killer!

**Implication(s):** Health hazard

**Task:** Improve

**Time:** Discretionary

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## Description

### Heating system type:

- [Furnace](#)



218. Oil Furnace (Basement)

- Electric baseboard heaters  
Front Left Room Only

### Fuel/energy source:

- [Oil](#)



219. Oil Tank



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## • [Oil](#)

Abandoned Tank? - not verified



220. Abandoned Tank?

Furnace manufacturer: • Thermo-Pride

Heat distribution: • [Ducts and registers](#)

Exhaust venting method: • [Natural draft](#)

Approximate age:

• [15 years](#)

Based on inspection sticker - not verified



221. Inspection Sticker

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- You must call the manufacture for the age of a Thermo Pride Furnace

**Main fuel shut off at:** • Basement

**Failure probability:** • [Medium](#)

**Fireplace/stove:**

- [Coal-burning fireplace](#)



222. Coal-burning fireplace



223. Coal-burning fireplace



224. Coal-burning fireplace



225. Coal-burning fireplace



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226. Coal-burning fireplace

## Chimney/vent:

- [Masonry](#)



227. Masonry Chimney



228. Masonry Chimneys



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229. Masonry Chimney

Chimney liner: • [Not visible](#)

## Limitations

**Inspection prevented/limited by:** • The inspection of the heating system merely consists of check of the responsiveness of the thermostat and a visual observation of the system without dismantling the unit. If the system is a furnace(s), please be advised that the Inspector does not check heat exchangers period. If you are interested in checking heat exchangers, you will need to call a heating company. As prescribed in the pre-inspection contract, this is a visual inspection only. The inspection of the heating system is general and not technically exhaustive. A detailed evaluation of the furnace heat exchanger or the interior of mechanical equipment is beyond the scope of this inspection. • The adequacy of heat supply or distribution balance is not inspected. • The furnace heat exchanger, humidifier, or dehumidifier, and electronic air filters are not inspected. • Solar space heating equipment/systems are not inspected. • Chimney and flue interiors are not inspected. If you are concerned with this area, you must employ a chimney company to clean and further evaluate the chimneys. • Fire screens, fireplace doors, appliance gaskets and seals, automatic fuel feed devices, mantles and fireplace surrounds, combustion make-up air devices, and heat distribution assists (gravity or fan-assisted) are not inspected. • The inspection does not involve igniting or extinguishing fires or the determination of draft. • Fireplace inserts, stoves, or firebox contents are not moved. • Please refer to the pre-inspection contract for a full explanation of the scope of the inspection, "Areas to Be Observed and Conditions Reported" and "Specific Limitations and Exclusions". • Oil tank was not visible • Vent connectors, chimney interiors and flues are not inspected • Top of chimney too high to see well • Cannot verify effectiveness of air filter

**Safety devices:** • Not tested as part of a building inspection

**Heat loss calculations:** • Not done as part of a building inspection

**Fireplace/wood stove:** • Quality of chimney draw cannot be determined

**Heat exchanger:** • Not visible

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## Recommendations

### RECOMMENDATIONS \ General

**92. Condition:** • For pre-purchase inspections it is recommended that the heating system be serviced as soon as possible after you move in to your new home, (certainly before the next season change). On listing inspections this should be done immediately. The service company should actually come in and open all panels, clean the unit, make tests using their service equipment and make repairs/adjustments as needed to be sure your system is not going to be damaged due to lack of maintenance. After the initial service, scheduled maintenance is recommended on a seasonal basis.

**93. Condition:** • Exposed joint tape on the furnace distribution duct may contain asbestos. The Environmental Protection Agency (E.P.A.) reports that asbestos represents a health hazard if friable (damaged, crumbling, or in any state that allows the release of fibers). If replacement of the duct necessitates the removal of the asbestos containing tape, an asbestos removal specialist should be engaged. If any sections of this tape are indeed friable, or become friable over time, a specialist should also be engaged. Further guidance is available from the Environmental Protection Agency (E.P.A.). Considering the age of this home there may be other materials within the home that contain asbestos but are not identified by this inspection report.

**Location:** Various

**Task:** Repair

**Time:** Immediate



**230.** *Exposed joint tape on the furnace...*

### OIL FURNACE \ Oil tank

**94. Condition:** • [Underground](#)

**Implication(s):** Leakage | Environmental contamination

**Location:** Right Side Yard

**Task:** Further evaluation

**Time:** Immediate

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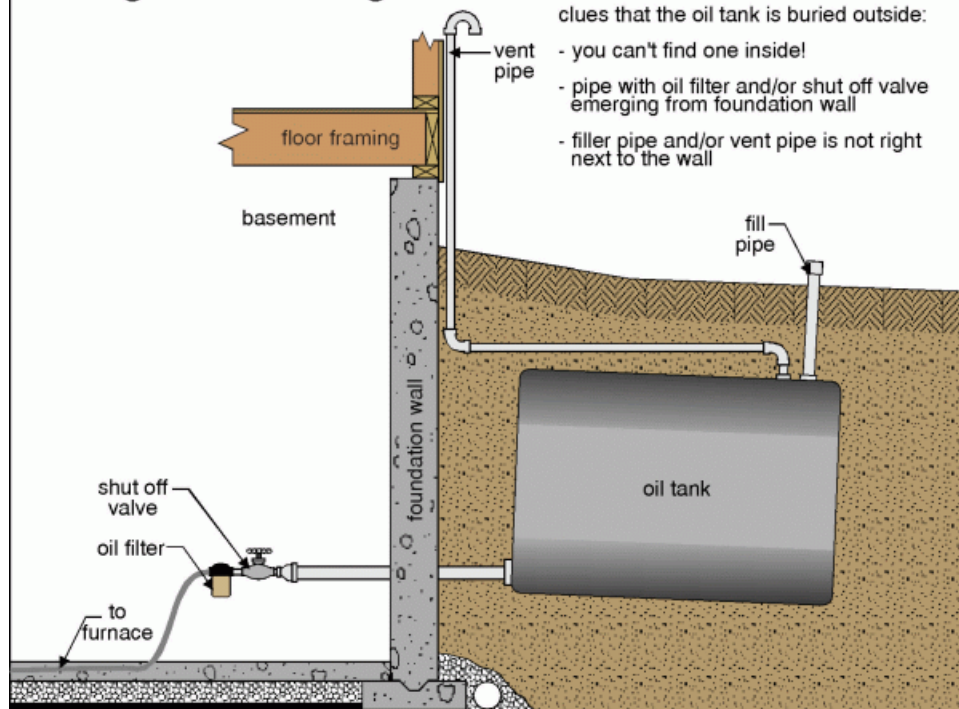
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## Underground oil storage tank



**95. Condition:** • It is recommended that the abandoned oil tank no longer in use be removed.

**Location:** Front Right Crawl Space

**Task:** Further evaluation

**Time:** Immediate

## CHIMNEY AND VENT \ Masonry chimney

**96. Condition:** • Cracked

**Implication(s):** Chance of water damage to contents, finishes and/or structure | Fire hazard

**Location:** Left Exterior Wall and Family Room

**Task:** Monitor

**Time:** Ongoing



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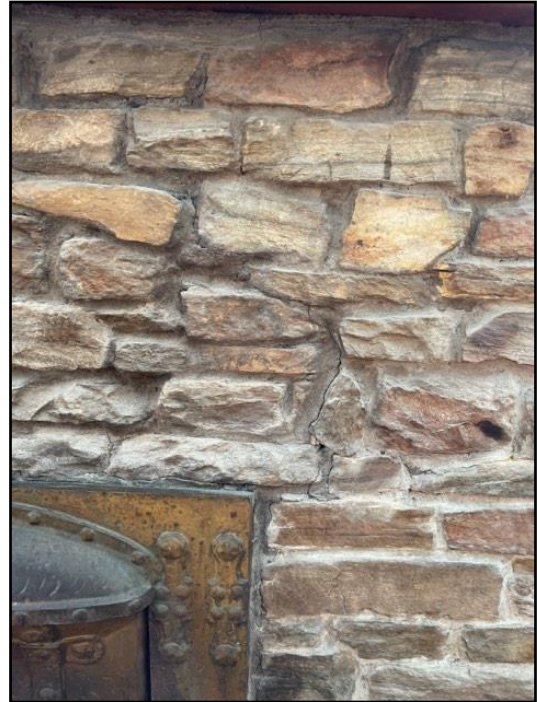
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231. Cracked



232. Cracked

**97. Condition:** • [Settling or leaning](#)

**Implication(s):** Chance of water damage to structure, finishes and contents | Chance of chimney movement | Hazardous combustion products entering home

**Location:** Rear Roof

**Task:** Further Evaluation

**Time:** Immediate

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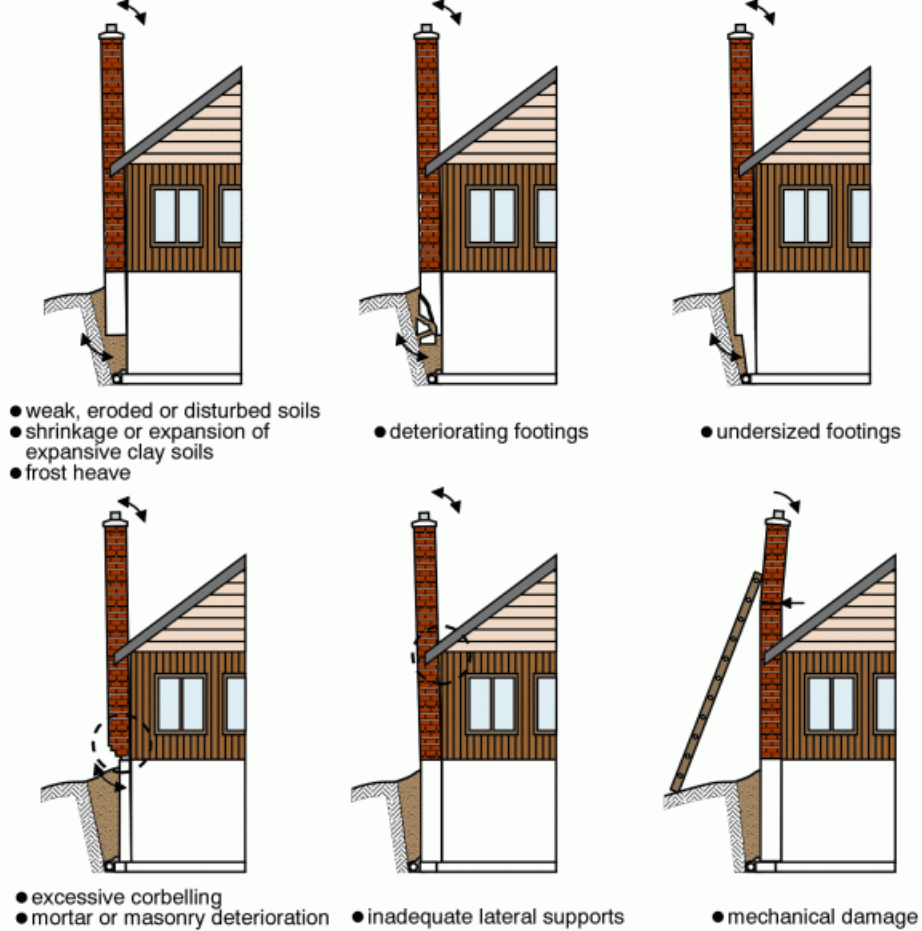
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## Causes of chimney settling or leaning



233. Settling or leaning

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## FIREPLACE \ Firebox

**98. Condition:** • [Designed for coal. Consult a specialist before using.](#)

**Implication(s):** Hazardous combustion products entering home | Fire hazard

**Location:** Various

**Task:** Further evaluation

**Time:** Immediate

## FIREPLACE \ Hearth and extension

**99. Condition:** • [Gaps or cracks](#)

**Implication(s):** Fire hazard

**Location:** Front Right Second Floor Bedroom

**Task:** Repair

**Time:** Immediate



234. Gaps or cracks



235. Gaps or cracks



# COOLING & HEAT PUMP

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## Description

**Air conditioning type:** • None present

## Limitations

**General:** • There was no central cooling system

**Inspection limited/prevented by:** • As prescribed in the pre-inspection contract, this is a visual inspection only. Air conditioning and heat pump systems, like most mechanical components, can fail at any time. • Window mounted air conditioning units (if any exist) are not inspected.

## Recommendations

### RECOMMENDATIONS \ General

**100. Condition:** • For pre-purchase inspections it is recommended that the cooling / heat pump system be serviced as soon as possible after you move in to your new home, (certainly before the next season change). On listing inspections this should be done immediately. The service company should actually come in and open all panels, clean the unit, make tests using their service equipment and make repairs/adjustments as needed to be sure your system is not going to be damaged due to lack of maintenance. After the initial service, scheduled maintenance is recommended on a seasonal basis.

**101. Condition:** • This home does not have a central air conditioning system

**Location:** Throughout

**Task:** Improve

**Time:** Discretionary

# INSULATION AND VENTILATION

175 Some Street, Any Town, NC February 8, 2022

Report No. 6580

<https://www.blackcatinspectionservices.com>

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## Description

**Attic/roof insulation material:** • [Glass fiber](#)

**Attic/roof insulation amount/value:** • Not determined

**Attic/roof ventilation:** • [Gable vent](#) • [Ridge vent](#) • [Soffit vent](#)

**Wall insulation material:** • Not visible

**Wall insulation amount/value:** • Not determined

**Wall air/vapor barrier:** • Not determined

**Floor above basement/crawlspace insulation material:** • None found

**Floor above basement/crawlspace air/vapor barrier:** • None found

**Crawlspace ventilation:** • [Wall Vents](#) • [Into basement](#)

## Limitations

**Inspection limited/prevented by lack of access to:** • Insulation/ventilation type and levels in concealed areas are not inspected. Insulation and vapor barriers are not disturbed and no destructive tests (such as cutting openings in walls to look for insulation) are performed. • Potentially hazardous materials such as Asbestos and Urea Formaldehyde Foam Insulation (UFFI) cannot be positively identified without a detailed inspection and laboratory analysis. This is beyond the scope of the inspection. • Please refer to the pre-inspection contract for a full explanation of the scope of the inspection, "Areas to Be Observed and Conditions Reported" and "Specific Limitations and Exclusions". • Wall space • Floor space

**Attic inspection performed:** • As prescribed in the pre-inspection contract, this is a visual inspection only. • Any estimates of insulation R-values or depths are rough average values. • By entering attic, but access was limited

**Roof space inspection performed:** • By entering space, but access was limited

**Crawlspace inspection performed:** • By entering space, but access was limited

**Roof ventilation system performance:** • An analysis of indoor air quality is not part of our inspection unless explicitly contracted-for and discussed in this or a separate report.

## Recommendations

### FLOORS \ Floors over unheated areas

**102. Condition:** • [Too little insulation](#)

**Implication(s):** Increased heating costs | Reduced comfort

**Location:** Throughout Basement Crawl Space

**Task:** Improve

**Time:** Discretionary

### FOUNDATION \ Crawlspace ventilation

**103. Condition:** • Damaged foundation vent screens. Implication: Insects and varmints entering the crawl space. Missing

**Location:** Various Exterior

**Task:** Repair

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**Time:** Immediate



**236.** Damaged foundation vent screens....

## CRAWLSPACE \ Hatch/Door

**104. Condition:** • Does not fit tightly

**Implication(s):** Chance of pests entering building

**Location:** Left Exterior Wall

**Task:** Repair

**Time:** Immediate



**237.** Does not fit tightly



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## Description

**Water supply source (based on observed evidence):** • Public

**Service piping into building:** • [Not visible](#)

**Supply piping in building:** • [Copper](#) • PEX (cross-linked Polyethylene)

**Main water shut off valve at the:** • Main water valve not found

**Water flow and pressure:** • [Functional](#)

**Water heater type:**

• Water Heater - Conventional



238. Water Heater

**Water heater location:** • Basement

**Water heater fuel/energy source:** • [Electric](#)

**Water heater manufacturer:** • Bradford White

**Water heater tank capacity:** • 50 gallons

**Water heater approximate age:** • 29 years

**Water heater typical life expectancy:** • 8 to 12 years

**Water heater failure probability:** • [High](#)

**Waste disposal system:** • [Public](#)

**Waste and vent piping in building:** • [PVC plastic](#) • [Cast iron](#) • [Galvanized steel](#)

**Pumps:**

• [Sump pump](#)

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## Basement



239. Sump pump

## Limitations

**Inspection limited/prevented by:** • As prescribed in the pre-inspection contract, this is a visual inspection only. • Other than what is reported on in the recommendation section of this report, there was no visible water leakage at the time of inspection. Be aware that plumbing leaks can occur in the future. • Please refer to the pre-inspection contract for a full explanation of the scope of the inspection, "Areas to Be Observed and Conditions Reported" and "Specific Limitations and Exclusions".

### Items excluded from a building inspection:

- Washer Faucets and Drains are Not Tested
- Portions of the plumbing system concealed by finishes and/or storage (below sinks, etc.), below the structure, or beneath the ground surfaces are not inspected.
- Water quantity and water quality are not tested unless explicitly contracted-for and discussed in this or a separate report.
- Clothes washing machine connections are not inspected.
- Interiors of flues or chimneys, which are not readily accessible, are not inspected.
- Water conditioning systems, solar water heaters, fire and lawn sprinkler systems, on-site private waste disposal systems, swimming pools, foundation drainage systems are not inspected unless explicitly contracted-for and discussed in this or a separate report.
- The home inspector is not required to determine whether water supply and waste disposal systems are public or private.
- The home inspector is not required to operate any valve except water closet flush valves, fixture faucets, and hose faucets.
- City sewer service, septic systems, and all underground pipes are not a part of this inspection.
- Underground pipes or pipes inside walls cannot be judged for sizing, leaks or corrosion.
- The adequacy of pipe sizes for supply and or waste piping is not part of this inspection.
- [This inspector does not measure hot water temperature. For safety hot water is not recommended to exceed 120 degrees.](#) Failure to control the temperature of the hot water may lead to serious burn injury.
- Water features

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240. Fountain (right yard)

## Recommendations

### RECOMMENDATIONS \ General

**105. Condition:** • What is this? Possibly something to do with yard fountain

**Location:** Right Side of Basement

**Task:** Further Evaluation

**Time:** Discretionary



241. What is this?



242. What is this?



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## SUPPLY PLUMBING \ Water supply pump

**106. Condition:** • Although water wells are not part of this inspection an abandoned well was observed on this property. The North Carolina Health Department requires that all abandoned wells be properly closed to their specifications. This process requires a permit, inspection and supervision by a certified well contractor. This may be a major undertaking depending on the condition and type of well. As an alternative the well may be placed back in service and used for such purposes as watering the yard or wash vehicles.

**Location:** Rear Left Porch

**Task:** Further Evaluation

**Time:** Immediate



**243.** *Although water wells are not part of this...*

## SUPPLY PLUMBING \ Water supply piping in building

**107. Condition:** • Leak

**Implication(s):** Chance of water damage to structure, finishes and contents | System inoperative, This issue is commensurate with moisture issues and mold growth. A more detailed inspection, specifically addressing these concern's and mold testing, is advised.

**Location:** Well Room

**Task:** Repair

**Time:** Immediate

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244. Leak

**108. Condition:** • Well cracked

**Implication(s):** Damage to well structure

**Location:** Rear Left Porch

**Task:** Further Evaluation

**Time:** Immediate

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245. Well cracked

## WATER HEATER \ Life expectancy

109. Condition: • [Old](#)

Implication(s): No hot water

Location: Basement

Task: Further evaluation

Time: Immediate

## WATER HEATER \ Temperature/pressure relief (TPR) valve

110. Condition: • [Discharge tube missing](#)

Implication(s): Scalding

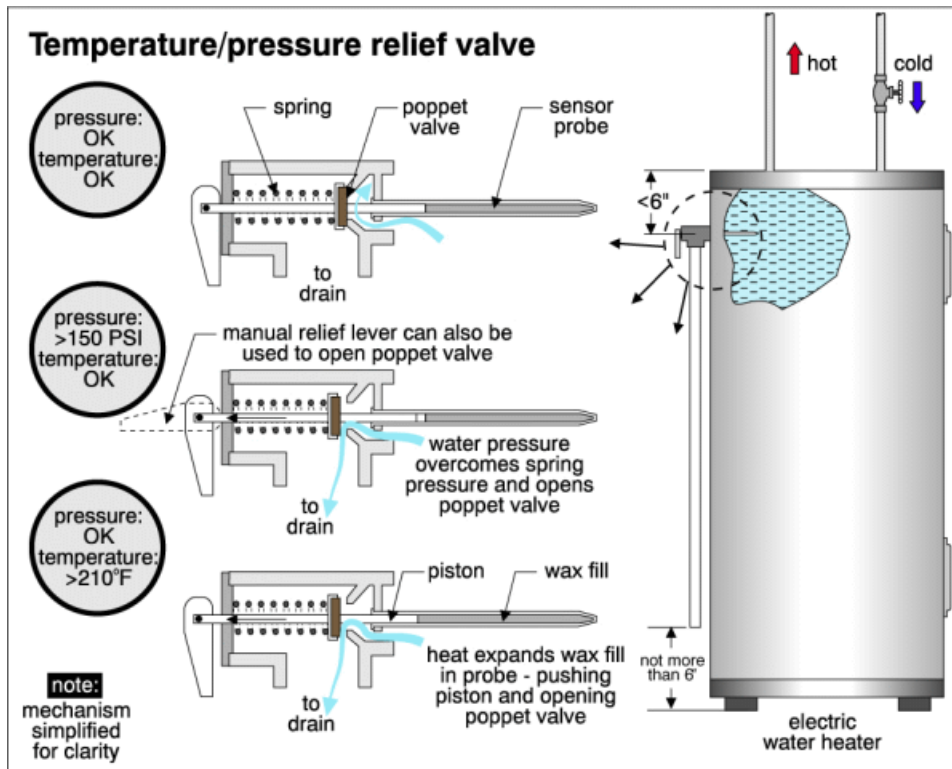
Location: Basement

Task: Repair

Time: Immediate



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246. Discharge tube missing

## WASTE PLUMBING \ Drain piping - installation

111. Condition: • [Exposed to mechanical damage](#)

Implication(s): Chance of water damage to structure, finishes and contents | Sewage entering the building

Location: Rear Right Yard

Task: Repair

Time: Immediate

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247. Exposed to mechanical damage

## WASTE PLUMBING \ Drain piping - performance

112. Condition: • Leak

**Implication(s):** Sewage entering the building. Chance of water damage to structure, finishes and contents. This issue is commensurate with moisture issues and mold growth. A more detailed inspection, specifically addressing these concerns and mold testing, is advised.

**Location:** Front Right Second Floor Bedroom

**Task:** Monitor

**Time:** Ongoing



248. Leak

113. Condition: • [Clogged](#)

**Implication(s):** Sewage entering the building

**Location:** Second Floor Hall Bathroom

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**Task:** Repair

**Time:** Immediate

## WASTE PLUMBING \ Traps - installation

**114. Condition:** • [Wrong type](#)

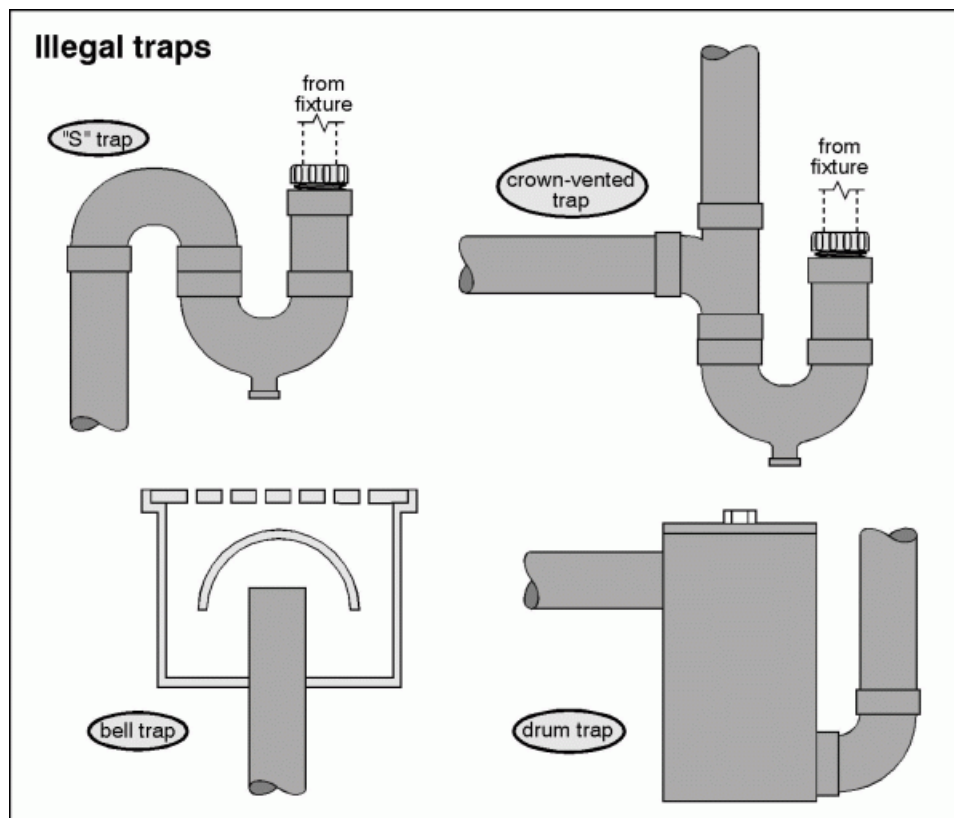
S Trap and Drum Trap

**Implication(s):** Sewer gases entering the building

**Location:** Kitchen, Hall Bathroom, and Crawlspace

**Task:** Repair

**Time:** Immediate





# PLUMBING

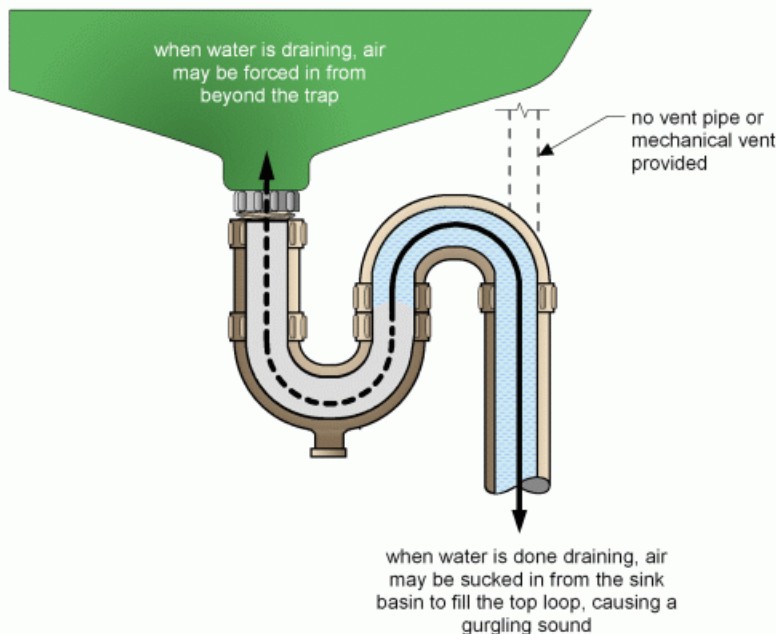
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## S-traps can lead to siphoning



249. S Trap



250. Drum Trap

## WASTE PLUMBING \ Sump pump

115. Condition: • [Lid missing, rotted or not secure](#)

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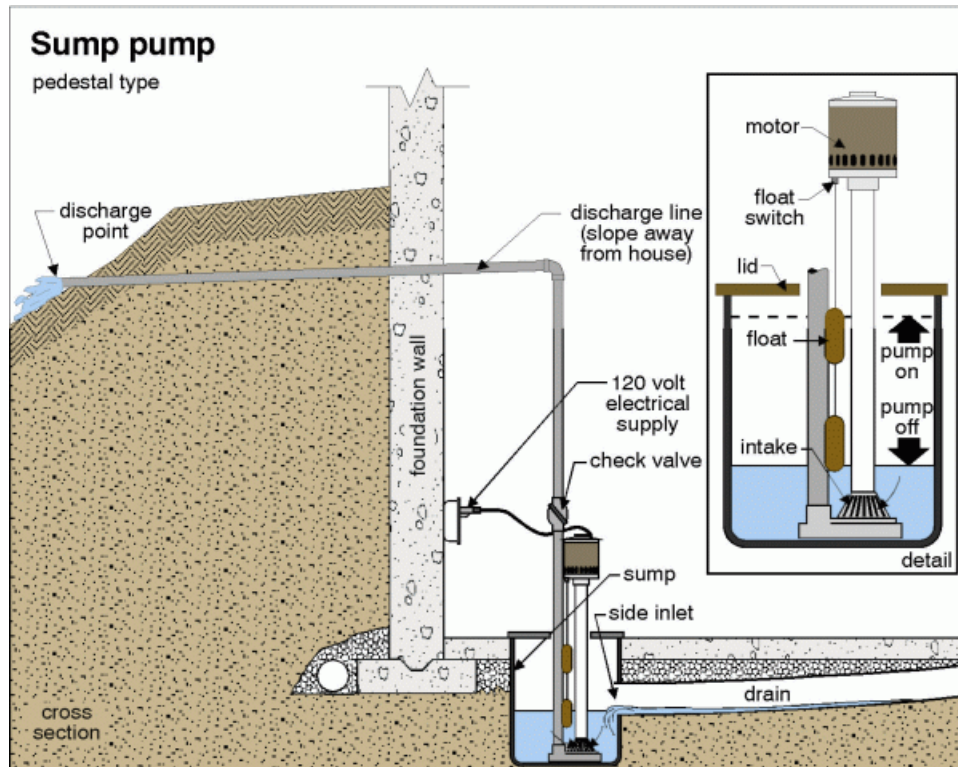
REFERENCE

**Implication(s):** Trip or fall hazard

**Location:** Right Side Basement

**Task:** Repair

**Time:** Immediate



251. Lid missing, rotted or not secure

## **FIXTURES AND FAUCETS \ Hose bib or bibb (outdoor faucet)**

**116. Condition:** • The exterior hose bib should be changed to a frost proof hose bib.

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**Location:** Right Exterior Wall

**Task:** Repair

**Time:** Immediate

**117. Condition:** • The anti siphon valve is damaged and/or leaking.

**Implication(s):** Reduced operability, leakage

**Location:** Left Exterior Wall

**Task:** Repair

**Time:** Immediate

## FIXTURES AND FAUCETS \ Faucet

**118. Condition:** • Drip, leak

**Implication(s):** Chance of water damage to structure, finishes and contents, This issue is commensurate with moisture issues and mold growth. A more detailed inspection, specifically addressing these concerns and mold testing, is advised.

**Location:** Second Floor Hall Bathroom

**Task:** Repair

**Time:** Immediate

## FIXTURES AND FAUCETS \ Bathtub enclosure

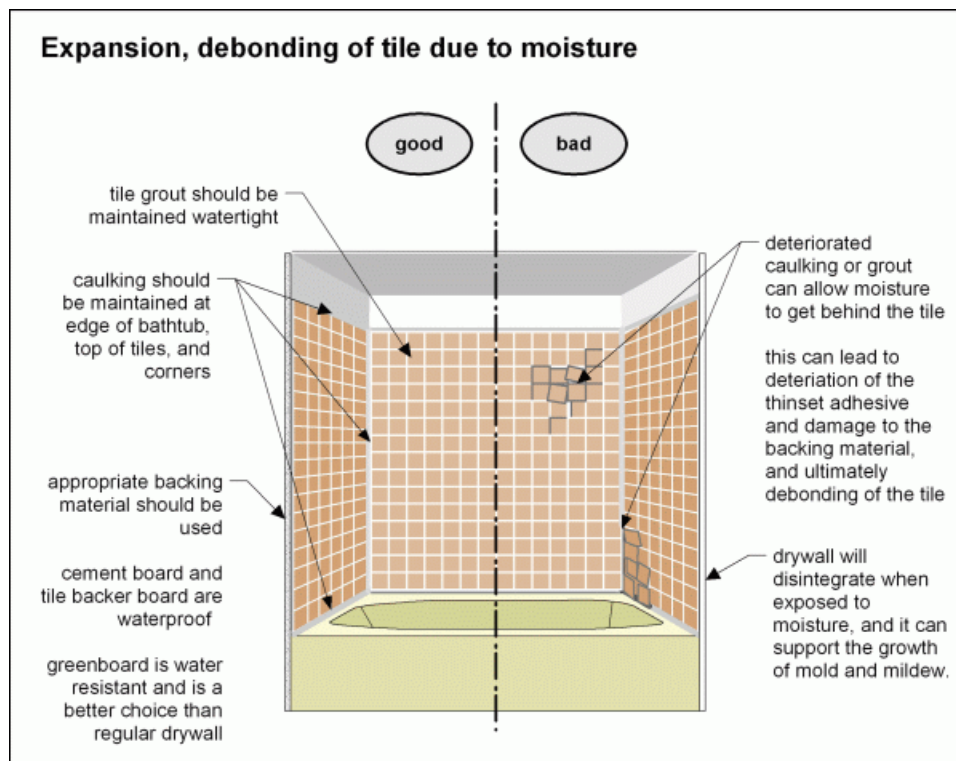
**119. Condition:** • [Caulking loose, missing or deteriorated](#)

**Implication(s):** Chance of water damage to structure, finishes and contents

**Location:** Master Bathroom

**Task:** Repair

**Time:** Immediate





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252. Caulking loose, missing or deteriorated

## **FIXTURES AND FAUCETS \ Toilet**

**120. Condition:** • [Loose](#)

**Implication(s):** Chance of water damage to structure, finishes and contents | Sewage entering the building | Possible hidden damage

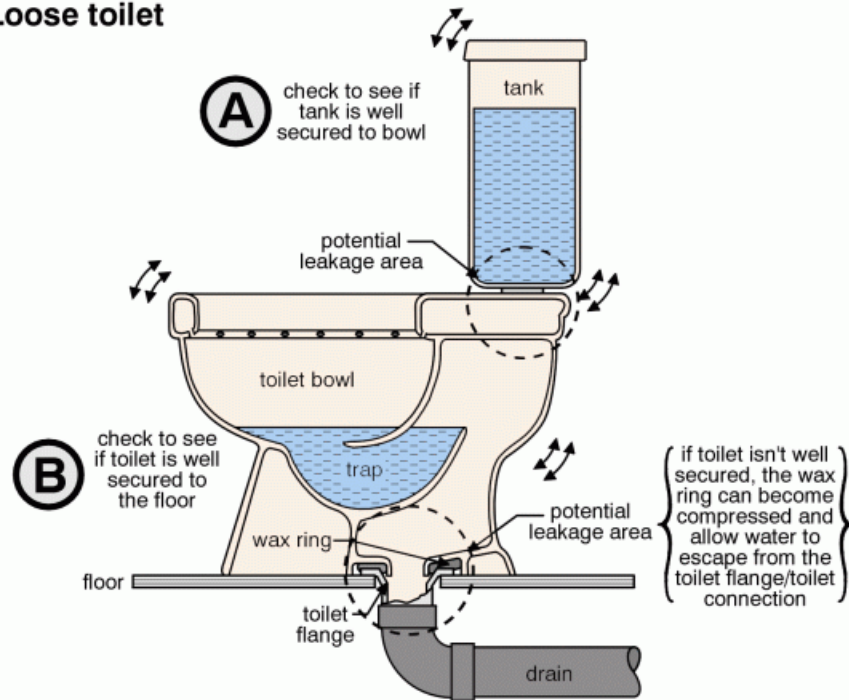
**Location:** Second Floor Hall Bathroom

**Task:** Repair

**Time:** Immediate

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## Loose toilet



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## Description

**General:** • The kitchen and laundry facilities are well organized. • Wood Panel Doors • Wood Hollow Core Doors • Wood Bi-folding Doors • Wood French Doors

**Major floor finishes:** • [Carpet](#) • [Hardwood](#) • [Concrete](#)

**Major wall finishes:** • [Paneling](#) • [Plaster/drywall](#)

**Major ceiling finishes:** • [Plaster/drywall](#) • [Acoustic tile](#) • [Wood](#)

**Windows:** • [Single/double hung](#) • Vinyl • Aluminum • Screens

**Glazing:** • [Double](#)

**Exterior doors - type/material:** • [Storm](#) • [Solid wood](#) • Screen

**Evidence of basement leakage:** • Present • Sump full

**Evidence of crawlspace leakage:** • Efflorescence • Stains

**Oven type:** • Conventional

**Range fuel:** • Electricity

**Appliances:** • Refrigerator • Electric Range

**Laundry facilities:** • Hot/cold water supply • Vented to outside • 120-Volt outlet • 240-Volt outlet • Waste standpipe

**Kitchen ventilation:** • None

**Bathroom ventilation:** • Exhaust fan • Window • None

## Limitations

**General:** • The absence or presence of fungi (mold) is not required to be included as part of your inspection and is not to be considered as part of this inspection or report unless specifically addressed herein. Clearly visible fungi (mold) infestations may or may not be addressed as part of this report. You should not consider this inspection or report to definitively address any fungi (mold) issue in this structure. If you are concerned about fungi (mold) you should make other arrangements to satisfactorily address any concerns you may have before closing on this transaction. This inspector will not be responsible for any fungi (mold) infestations discovered at any time during or after this inspection. When building components have surface discolorations and decay typical of fungal growths, such as mold, mildew, and wood destroying fungi, the home inspection focuses only on moisture concerns and evidence of wood damage. Health issues related to the presence of mold are beyond the scope of the home inspection. If the client has concerns beyond the scope of the inspection, a certified professional such as an industrial hygienist should be consulted prior to purchasing this property.

**Inspection limited/prevented by:** • As prescribed in the pre-inspection contract, this is a visual inspection only. Assessing the quality and condition of interior finishes is highly subjective. Issues such as cleanliness, cosmetic flaws, quality of materials, architectural appeal and color are outside the scope of this inspection. Comments will be general, except where functional concerns exist. No comment is offered on the extent of cosmetic repairs that may be needed after removal of existing wall hangings and furniture. • Furniture, storage, appliances and/or wall hangings are not moved to permit inspection and may block defects. • Determining the condition of insulated windows unless visually apparent at the time of the inspection is not possible due to temperature, weather and lighting variations. • Please refer to the pre-inspection contract for a full explanation of the scope of the inspection, "Areas to Be Observed and Condition



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s Reported" and "Specific Limitations and Exclusions": New finishes/paint • Storage/furnishings • Storage in closets and cabinets / cupboards • Carpet

**No access to:** • No Access To Wall Cavities • No Access To Floor Cavities

**Restricted access to:** • The condition of flooring under appliances is not observed

**Not included as part of a building inspection:** • Appliances are not moved. • Carpeting, window treatments, central vacuum systems, household appliances, recreational facilities, paint, wallpaper, and other finish treatments are not inspected. • Condition of wood flooring below carpet is not inspected. • Fireplace Draw Not Tested • Determining odors or stains is not included • Note: It is up to the buyer to make sure that the seller cleans out all areas of the home including basements, crawl space, attics, storage areas, cabinets and such prior to closing. • Thermostats, timers and other specialized features and controls are not tested. • The temperature calibration, functionality of timers, effectiveness, efficiency and overall performance of appliances is outside the scope of this inspection. • Refrigeration, freezers, built in ice makers, washer and dryer units are not observed. None built-in appliances are not observed. Determining the adequacy of washing and drying functions of dishwashers is not part of this inspection. • Self and/or continuous cleaning operations, clocks, timing devices, lights and thermostat accuracy are not tested during this inspection. • Cosmetic issues • Decorative items • Aesthetics or quality of finishes • Vermin, including wood destroying organisms. • Underground components (e.g., oil tanks, septic fields, underground drainage systems) • Environmental issues including asbestos • Paint, wallpaper, and other finishes • Floor coverings

**Cosmetics:** • No comment offered on cosmetic finishes

**Appliances:** • Self-cleaning features on ovens not tested • Effectiveness of dishwasher drying cycle not tested • Appliances are not moved during an inspection

**Basement leakage:** • Cannot predict how often or how badly basement will leak - This issued, should it occur, is commensurate with moisture issues and mold growth.

**Crawlspace leakage:** • Cannot predict how often or how badly crawlspace will leak - This issued, should it occur, is commensurate with moisture issues and mold growth.

## Recommendations

### CEILINGS AND WALLS \ General notes

**121. Condition:** • Mold

**Implication(s):** Ventilation Issue/Moisture Issue

**Location:** Family Room

**Task:** Clean

**Time:** Regular Maintenance

### CEILINGS \ Wood

**122. Condition:** • [Loose](#)

**Implication(s):** Damage or physical injury due to falling materials

**Location:** Rear Center Hallway

**Task:** Repair

**Time:** Immediate

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253. Loose

## CEILINGS \ Fan

**123. Condition:** • Excessive vibration

**Implication(s):** Nuisance | Noise nuisance

**Location:** Master Bedroom and Front Left Second Floor Bedroom

**Task:** Repair

**Time:** Immediate

**124. Condition:** • Noisy

**Implication(s):** Noise nuisance

**Location:** Front Right Second Floor Bedroom

**Task:** Repair

**Time:** Immediate

## WALLS \ General notes

**125. Condition:** • Typical flaws

**Location:** Various

**Task:** Improve

**Time:** Discretionary

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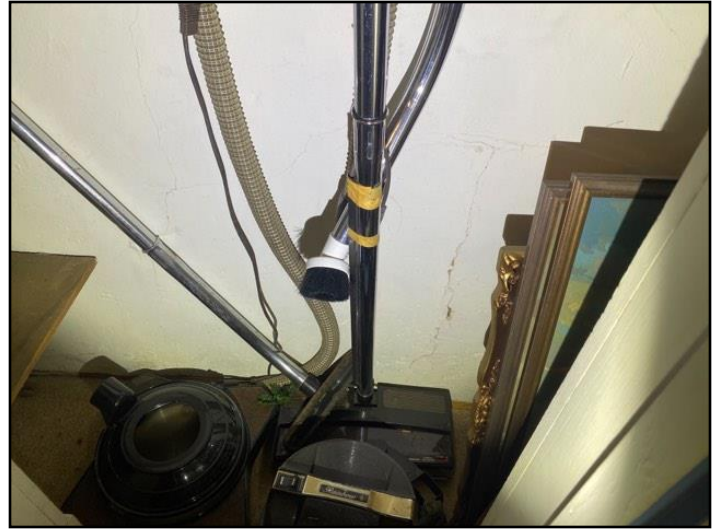
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254. Typical flaws



255. Typical flaws



256. Typical flaws



257. Typical flaws



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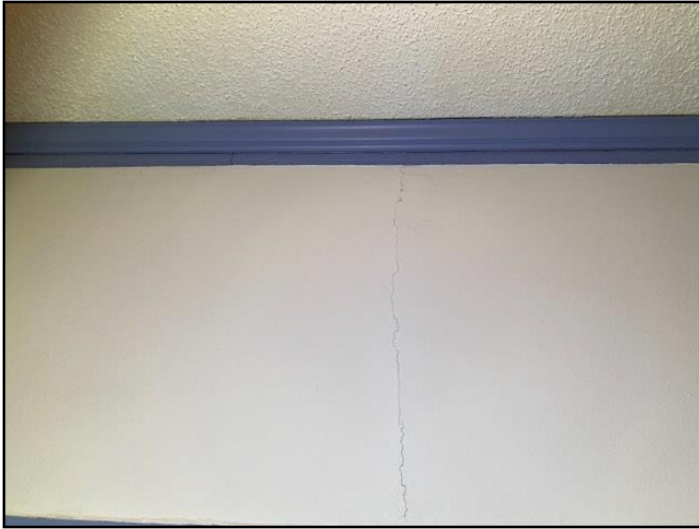
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258. Typical flaws



259. Typical flaws



260. Typical flaws

**126. Condition:** • Water stains

**Implication(s):** Chance of water damage to structure, finishes and contents, This issue is commensurate with moisture issues and mold growth. A more detailed inspection, specifically addressing these concern's and mold testing, is advised.

**Location:** Rear Right Office Area

**Task:** Further Evaluation

**Time:** Immediate

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261. Water stains



262. Water stains

## WINDOWS \ General notes

127. Condition: • Difficult to operate

Implication(s): System inoperative or difficult to operate

Location: Front Right Second Floor Bedroom

Task: Repair

Time: Immediate

## DOORS \ Doors and frames

128. Condition: • [Damage](#)

Implication(s): Material deterioration | Increased heating and cooling costs | Reduced comfort

Location: Rear Left Porch

Task: Repair

Time: Immediate

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**263.** *Damaged Door*

**129. Condition:** • [Swings open or closed by itself](#)

**Implication(s):** Physical injury

**Location:** Right Side Hallway

**Task:** Repair

**Time:** Immediate

**130. Condition:** • [Weatherstripping missing or ineffective](#)

**Implication(s):** Chance of water entering building | Increased heating and cooling costs | Reduced comfort

**Location:** Right Side Basement Door

**Task:** Repair

**Time:** Immediate



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**264.** *Weatherstripping missing or ineffective*

**131. Condition:** • Does not latch properly

**Implication(s):** System inoperative or difficult to operate

**Location:** Front Master Bedroom

**Task:** Repair

**Time:** Immediate

**132. Condition:** • Over wide jamb margin at door latch

**Implication(s):** Reduced security

**Location:** Front Entry

**Task:** Repair

**Time:** Immediate

# INTERIOR

Report No. 6580

175 Some Street, Any Town, NC February 8, 2022

<https://www.blackcatinspectionservices.com>

SUMMARY

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265. Over wide jamb margin at door latch

**133. Condition:** • Rubs

**Implication(s):** Reduced Operability

**Location:** Various

**Task:** Repair

**Time:** Immediate

## DOORS \ Glass (glazing)

**134. Condition:** • Putty Missing

**Implication(s):** Loose Glass/Loss of heat

**Location:** Front Entry

**Task:** Repair

**Time:** Immediate

# INTERIOR

Report No. 6580

175 Some Street, Any Town, NC February 8, 2022

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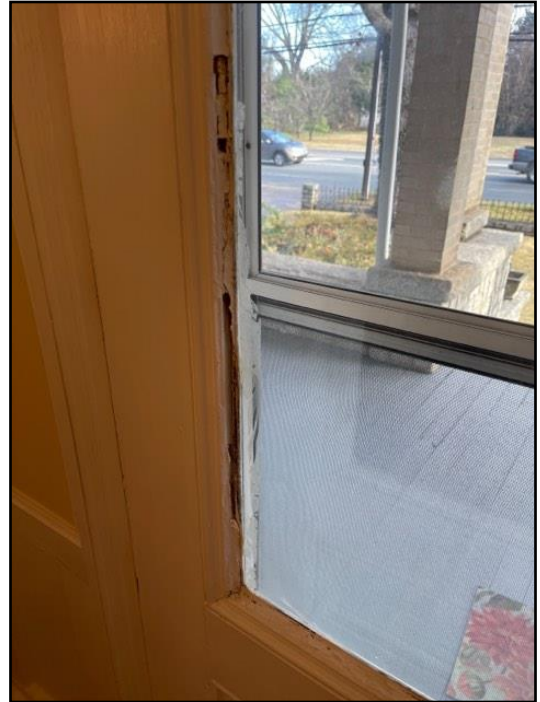
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266. Putty Missing



267. Putty Missing

## DOORS \ Hardware

135. Condition: • [Loose](#)

Implication(s): Equipment failure

Location: Various

Task: Repair

Time: Immediate



268. Loose Hardware



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**136. Condition:** • Lock not effective on exterior door

**Implication(s):** Poor security

**Location:** Front Right Second Floor Bedroom

**Task:** Repair

**Time:** Immediate



**269.** Lock not effective on exterior door

**137. Condition:** • Does not latch properly

**Implication(s):** System inoperative or difficult to operate

**Location:** Various

**Task:** Repair

**Time:** Immediate



**270.** Does not latch properly

**138. Condition:** • Door stops are damaged or missing at various locations throughout the home.

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**Location:** Various

**Task:** Improve

**Time:** Discretionary

## STAIRS \ General notes

**139. Condition:** • The door at the top of the stairwell should open away from the stairs. It is recommended that this door be altered for improved safety. A person leaning against an inadequately latched door could fall down the stair.

**Implication(s):** Fall hazard

**Location:** Right Side Basement

**Task:** Repair

**Time:** Immediate



**271.** *The door at the top of the stairwell should...*

## STAIRS \ Treads

**140. Condition:** • [Sloped](#)

**Implication(s):** Trip or fall hazard

**Location:** Center Second Floor Staircase

**Task:** Further Evaluation

**Time:** Immediate

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272. Sloped

## STAIRS \ Handrails and guards

141. Condition: • [Loose](#)

Implication(s): Fall hazard

Location: Second Floor Staircase

Task: Repair

Time: Immediate

142. Condition: • [Missing](#)

Implication(s): Fall hazard

Location: Second Floor Staircase

Task: Repair

Time: Immediate



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273. Missing Handrail

## EXHAUST FANS \ General notes

143. Condition: • [Missing](#)

**Implication(s):** Chance of condensation damage to finishes and/or structure

**Location:** Master and Rear Left Bathrooms

**Task:** Repair

**Time:** Immediate

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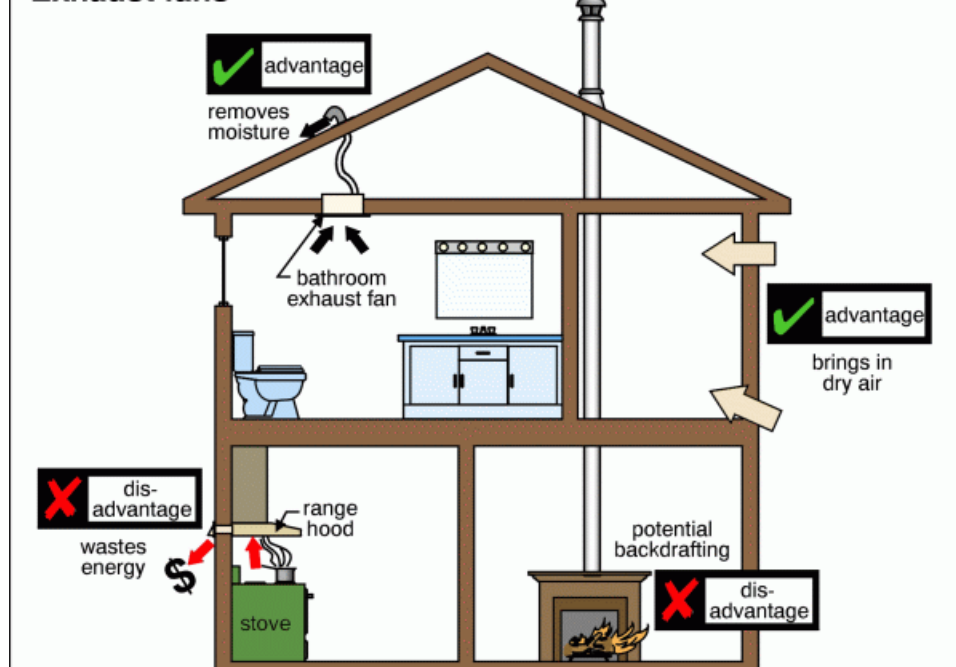
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## Exhaust fans



### BASEMENT \ Wet basement - evidence

144. Condition: • [Stains](#)

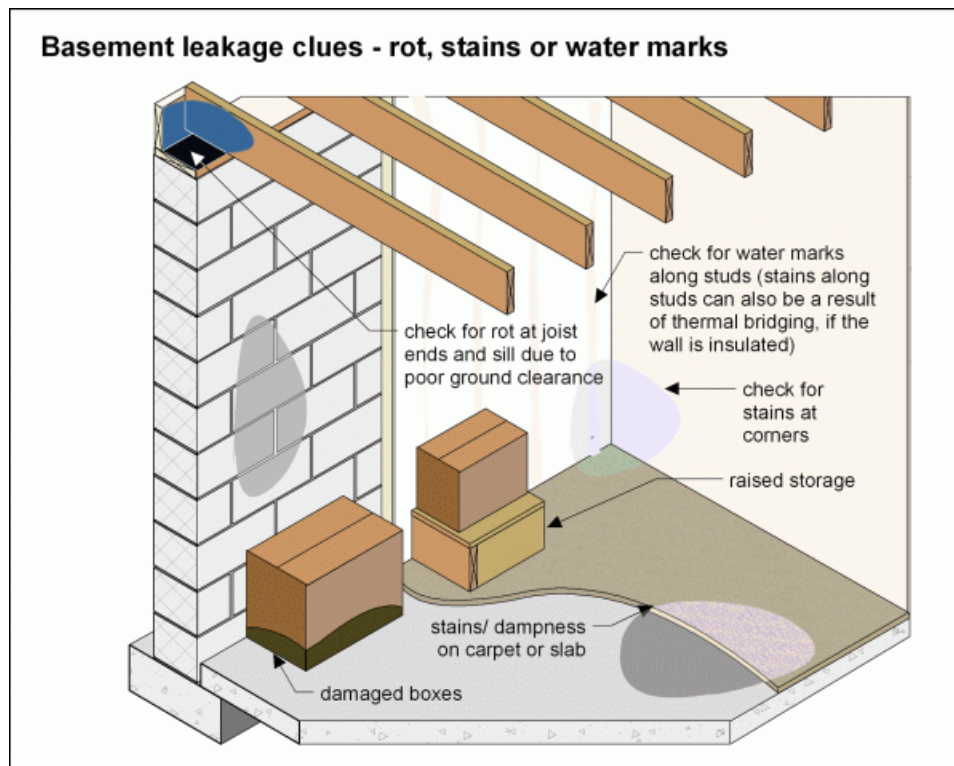
**Implication(s):** Chance of water damage to structure, finishes and contents

**Location:** Basement

**Task:** Further Evaluation

**Time:** Immediate

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274. Stains



275. Stains

## CRAWLSPACE \ Wet crawlspace - evidence

**145. Condition:** • Efflorescence

**Implication(s):** Chance of water damage to structure, finishes and contents, This issue is commensurate with moisture issues and mold growth. A more detailed inspection, specifically addressing these concerns and mold testing, is advised.

**Location:** Various Crawlspace

**Task:** Further Evaluation



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**Time:** Immediate



276. Efflorescence



277. Efflorescence

## APPLIANCES \ Doorbell or chime

**146. Condition:** • Inoperative

**Implication(s):** Equipment inoperative

**Location:** Various

**Task:** Further evaluation

**Time:** Immediate

# MOLD

Report No. 6580

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## Description

**General:** • [Is MOLD a four letter word? Educate yourself. Mold is EVERYWHERE!!! Check out the EPA website about MOLD.](#)

## Limitations

**General:** • General Mold Statement and Limitations: The absence or presence of fungi (mold) is not required to be included as part of our standard inspection and is not to be considered as part of this inspection or report unless specifically addressed herein as a courtesy. Clearly visible fungi (mold) infestations may or may not be addressed as part of this report. You should not consider this inspection or report to definitively address any fungi (mold) issue in this structure. If you are concerned about fungi (mold) you should make arrangements to satisfactorily address any concerns you may have before closing on this transaction. We offer mold inspections and testing, as a standalone inspection, and as an add on to our standard inspection at an additional fee if you failed to include that as part of this inspection. This inspector will not be responsible for any fungi (mold) infestations discovered at any time during or after this inspection unless specifically addressed herein. When building components have surface discolorations and decay typical of fungal growths, such as mold, mildew, and wood destroying fungi, our standard home inspection focuses only on moisture concerns and evidence of wood damage. Health issues related to the presence of mold are beyond the scope of a home or mold inspection. If you, as our client, have concerns beyond the scope of our available added standard or mold inspection, or testing, a certified professional such as an industrial hygienist should be consulted prior to purchasing this property.

## Recommendations

### RECOMMENDATIONS \ General

**147. Condition:** • [Mold Cleanup in Your Home - Visit the EPA website about this topic.](#)

<https://www.epa.gov/mold/mold-cleanup-your-home>

**Implication(s):** Mold is confusing and few understand the ramifications of its presence in their homes or buildings. MOLD IS EVERYWHERE - There are no mold free homes or buildings.

# RECALLS

175 Some Street, Any Town, NC February 8, 2022

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<https://www.blackcatinspectionservices.com>

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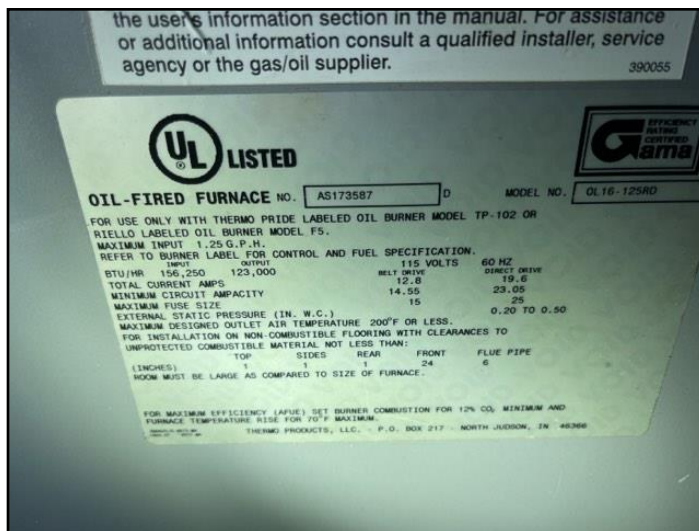
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## Description

**General:** • The following photos are the data plates containing the serial and model numbers from various appliances and equipment found in your home. These will be compared against a national database of manufactures recalls. After the inspection you will receive an email informing you of any potential recalls, and how you should address them. Via the email you can set up an account and control settings, add new or remove old appliances or cancel the service completely if you desire. This is above and beyond the North Carolina Standards of Practice for a home inspection and is offered as an added benefit for you.

**Furnace:** • Thermopride

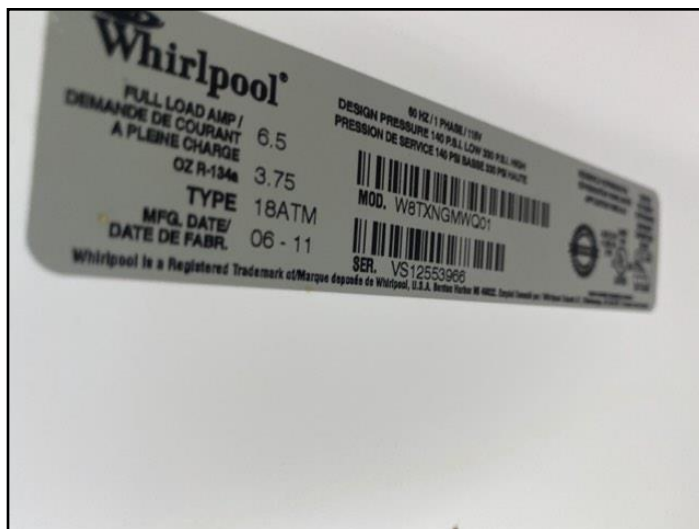


278. Thermopride

**Water Heater:** • Bradford White

**Refrigerator:**

• Whirlpool



279. Whirlpool



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175 Some Street, Any Town, NC    February 8, 2022

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Range:

- Whirlpool



280. Whirlpool

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## Description

**General:** • Information on this page, concerning this home, is typically derived from Multiple Listing Service data or in absence thereof, often from tax records. This inspector has not verified the accuracy of information derived from other sources.

**Weather:** • Partly cloudy • Light winds

**Approximate temperature:** • The temperature is at the beginning of the inspection. • 28°

**Attendees:** • Buyer • Buyer's Agent • An independent pest control inspector conducted an inspection for wood destroying insects during this inspection.

**Attendees:** • A mechanical contractor assessed options for cooling systems.

**Access to Building Provided by:** • Lockbox

**Occupancy:** • The home was vacant during the inspection. • The home was unfurnished during the inspection.

**Utilities:** • All utilities were on during the inspection. • The water service is public. • The plumbing waste disposal system is public.

**Approximate inspection start and end time:** • The inspection started at 8:00 a.m. • The inspection ended at Noon.

**Approximate age of building:** • 136 years

**Approximate date of construction:** • 1886

**Approximate size of building:** • 3200 ft.<sup>2</sup>

**Building type:** • Detached home

**Number of dwelling units:** • Single-family

**Number of stories:** • Two

**Number of bedrooms:** • Three

**Number of bathrooms:** • Two and one half

**Number of kitchens:** • One

**Below grade area:** • Basement • Crawlspce

**Garage, carport and outbuildings:**

• Attached one-car carport

• Barn

The barn was not included as part of this inspection

# SITE INFO

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281. Barn

END OF REPORT



# APPENDIX

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## Protecting **your** interests.

You need more than just a home inspection, you need the professionals you can depend on even after the job is done. That's why we back all of our inspections with a 90 day Limited Structural and Mechanical Warranty.

### How to use your 90 Day Warranty:

- Your 90 Day Limited Mechanical and Structural warranty comes with your home inspection. This warranty is valid 90 Days from the date of inspection or 22 days after closing whichever comes later. You will always have at least 22 days worth of coverage.
- This warranty covers repairs to items the Home Inspector has found to be in good working condition at the time of inspection and are specifically listed within our warranty.
- You will never have a deductible to pay.
- Claims will be handled within 72 hours of complete submission.
- This warranty may work in conjunction with an existing warranty.

Representatives are available Monday-Friday 8am-5:30pm  
EST to help answer questions about your warranty.  
Please call 800-544-8156.



SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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### 90 Day Limited Structural & Mechanical Buyer's Home Warranty

*Provided by your Home Inspection Company with a Full Home Inspection*

**Mechanical Coverage Summary:** Plumbing: Water lines, faucets, water heaters, drain lines, gas lines. Electrical: Main service panel, secondary service panel, and wiring. Appliances: Kitchen Appliances including and limited to oven, range, dishwasher, built-in microwave, trash compactor, and garbage disposal. Heating/Air (HVAC): Furnace, Air Conditioner, and Thermostats.

**Structural Coverage Summary:** Poured Concrete & Block Wall Foundations. Floor joists, bottom & top plates, and wall members. Roof leak repair (does not include replacement of bad shingles), load bearing walls, attached garage doors.

#### Coverage Terms

This service contract covers only those items specifically listed and excludes all others. This contract does not cover consequential or secondary damages. This contract only covers those items that were confirmed to be in good working order at time of inspection and excludes all others, regardless of their condition at the time of inspection or if they were repaired. This contract does not cover water damage, cosmetic repairs, or items that are inaccessible without the removal of drywall, concrete, or any other permanently installed covering. This is not a maintenance contract. In order for an item to be covered, it must be maintained in accordance with the manufacturer's standards or be maintained within reasonable standards where no such standards exist. This contract excludes all appliances, climate control systems, and fixtures over 10 years old. This contract does not cover plumbing stoppages, regardless of reason. This contract does not cover well or septic systems or any related components. RWS is not responsible for upgrading failed systems to meet current codes or local ordinances. This contract does not cover chimneys, fireplaces, or brick failures of any kind. This contract does not cover cracking or scaling concrete. Roof repair is for leaks only, to rolled, composition, or asphalt shingle roof only, and is limited to the repair of the leak only. This contract does not cover pest damage, including that caused by any and all wood destroying insects and pests. All mechanical coverage is limited to those items within the home's foundation, and limited to an aggregate maximum of \$500.00. All structural coverage is limited to issues within the home's foundations and is limited to an aggregate maximum of \$2000.00. RWS is not an insurer. Any damage caused by any peril is not covered by this contract, which includes but is not limited to; war, riot, civil commotion, earthquake, hurricane, any and all acts of god, or any other outside cause or neglect. All claims on this policy shall be made by the buyer of record only after they have taken possession of the home. All claims must be

received within 90 days of the inspection or within 22 days of closing, whichever comes later. The coverage under this policy shall come after any and all other warranties in place.

**Validating Your Home Warranty:** It is important that we have your information prior to any claims being made. Please be sure to validate your home warranty at <http://90daywarrantyvalidation.com> within 15 days of your inspection with your name, the address of the property, and your inspector's name.

#### Claims Procedures

Written Notification of claim must be received by RWS prior to the expiration of the policy (which is defined as noon, the 91st day after the inspection is completed). The following information must be contained in the claim:

- Your Name
- Your Inspector's Name
- Your Full Address
- A Phone Number Where You Can Be Reached
- A Brief description of the Claim

2. An itemized repair estimate must be submitted for every approved claim, including the breakdown of parts & labor, as well as a specific cause for the failure in writing from a licensed or properly certified repairperson. RWS reserves the right to request up to two (2) additional estimates. The estimate must include contact information for the repairperson.

3. A copy of your home inspection must be submitted with the repair estimate, or at least those pages pertaining to the affected items.

4. Claims will be processed after we are in receipt of items 1, 2, & 3. You will be contacted by a RWS representative within 72 hours of all items being submitted.

Residential Warranty Services, Inc.  
P.O. Box 797  
Carmel, IN 46082  
800-544-8156  
Fax 877-307-7056  
[90day@rws-warranty.com](mailto:90day@rws-warranty.com)  
[90daywarranty.com](http://90daywarranty.com)



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## Congratulations on Your Home Inspection!

Your Home Inspector has gifted you a lifetime account to HomeBinder (\$120 Value) that will help you with all your ongoing home management needs.

### How HomeBinder Helps



**Schedule Maintenance Reminders** for your homes reoccurring maintenance needs like replacing air filters and draining sprinkler lines.



**Store Contractor Information** to always remember the handymen who work on your home so you know who to call for repairs.



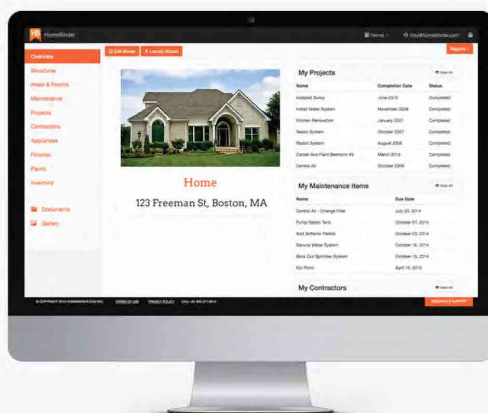
**Organize Home Projects** by storing photos, paint colors, and project costs for easy repairs and tax deductions at the time of sale.



**Start a Home Inventory** to be prepared for a fire or theft with an easy to update repository that makes insurance and tax claims a breeze.



**Utilize Your Electronic File Cabinet** by uploading important paperwork, reports and receipts to the cloud for safekeeping and easy access.



Available on Desktop and Mobile Devices



HomeBinder.com



Support@HomeBinder.com



800.377.6915



# APPENDIX

175 Some Street, Any Town, NC February 8, 2022

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## Your New HomeBinder is Waiting!

You're already set up with a recommended maintenance reminder schedule, now you just need to claim your HomeBinder to get started.

### How to Get Started

#### 1 Activate Your Account from Email



##### HomeBinder Account Setup Information

Your Home Inspector has created a HomeBinder for you!



Congratulations on your recent home inspection. As part of your home inspection, you have lifetime access to HomeBinder Homeowner Edition.

**Access your Binder!**

#### 2 Review and Update Your Maintenance Reminder System

Overview

Structures

Areas & Rooms

Maintenance

+ New

▼ Expand All

Share

Add Water Softener Pellets (Next Due: January 01, 2016)

Show Details Edit Delete

Change Central Air Filter (Next Due: March 09, 2016)

Show Details Edit Delete

Sweep Chimney (Next Due: April 15, 2016)

Show Details Edit Delete

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FEEDBACK & SUPPORT

#### 3 Populate Your Electronic Filing Cabinet

Overview

Structures

Areas & Rooms

Maintenance

Projects

Contractors

Edit Binder

Launch Wizard

Reports

My Projects

View All

Name	Completion Date	Status
Installed Sump	June 2010	Completed
Install Water System	November 2008	Completed
Kitchen Renovation	January 2001	Completed

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## SEWER|GARD

**Term**

SewerGard protection is offered for a period of 90 days following the date of the inspection, or 22 days after closing, whichever comes later. If you received a sewer scope, this policy is extended to 6 months from the date of the inspection, or 22 days from closing, whichever comes later. All claims must be received by RWS within the term of the agreement. An extension of coverage may be made available at a nominal fee at the conclusion of this agreement. This agreement is not transferable to any other property outside of the one listed on your home inspection report. Any costs above what is expressly stated as covered herein are the responsibility of the homeowner.

**Coverage**

During the agreement term, only the directly affected portions of the following components are covered against failure due to normal wear and tear:

1. "Water Line". The water line is the single lateral water service line from the point of the water utility's connection to the point of the water meter or main shut off line inside the home. The water line also includes well water lines, excluding those exceeding five feet under the surface level of the yard.

2. "Sewer Line". The sewer line is the single lateral sewer service line from the point of the home's exterior wall to the point of connection to the sewer utility's wastewater collection system or septic tank.

**Covered Repairs**

This agreement covers only repairs as specified and excludes all others. Coverage is limited to \$2000 per occurrence, \$4000 aggregate. Only failures that occur after the date of the inspection are covered. This agreement does not cover repairs to material types that have been affected by a class action lawsuit or manufacturer's recall. This agreement only applies to residential properties being used for residential purposes only. Only line breakages, collapses, and significant leaks that affect the functionality of the home's sewer and water systems are covered under this policy. Clogs are expressly excluded and all additional repairs are the responsibility of the homeowner. This policy does not cover secondary or consequential damages.

**Exclusions**

RWS will not be responsible for any of the following:

- a. Repairing anything that occurred before the state date of this agreement or that wasn't reported to RWS during the term of this agreement.
- b. Repairing anything not resulting from normal wear and usage.
- c. Repairing anything caused by you and/or third parties.
- d. Repairing anything in a home that is being renovated.
- e. Repairing anything caused by natural acts or disasters included but not limited to floods, earthquakes, landslides, sinkholes, or any insurable causes.
- f. Repairing anything caused by defective materials, or any material that has been the subject of class action litigation or a recall.
- g. Repairing anything required by any other party (city, state, federal or other party) unless otherwise covered by this agreement.
- h. Repairing any openings or damage caused to walls as a result of investigation or repair of a covered issue.

i. Repairing shared lines (as in shared with another property).

j. Repairs to any damaged items consequential to a sewer or water line failure or repair.

k. Paying any costs associated with relocation of lines, lost water, lost time, lost use of your home, or any damages due to any special circumstances or conditions.

l. Covered repair costs include only the water and sewer lines at a covered rate of: \$200/linear foot up to 5 feet; \$150/linear foot above 5 feet up to 10 feet; and \$100/linear foot until the \$2,000 claim maximum is reached.

**RWS' Right to Review**

RWS reserves the right to have its own contractor review any diagnosis, estimates, and bid on any project covered under this agreement. RWS shall choose the acceptable estimate in its sole discretion for coverage. This warranty and all related disputes shall be interpreted and enforced in accordance with the laws of Hamilton County in the State of Indiana without reference to, and regardless of, any applicable choice or conflicts of laws principles.

**Claim Procedures**

Written Notification of claim including items 1, 2, and 3 must be received by RWS prior to the expiration of the policy. All claims on this policy shall be made by the buyer of record only after they have taken possession of the home and must be received within 90 days of the inspection or within 22 days of closing, whichever comes later. Claims will be processed after we are in receipt of items 1, 2 & 3. You will be contacted within 72 business hours of all items being submitted.

1. Written Notification of Claim - The following information must be contained in the notification:
  - a. Your Name
  - b. Your Inspection Company's Name
  - c. A Phone Number Where You Can Be Reached
  - d. A Brief Description of the Claim

2. An itemized repair estimate, including the breakdown of parts & labor, as well as a specific cause for the failure in writing from a licensed or properly certified repairperson. RWS reserves the right to request up to two (2) additional estimates. The estimate must include contact information for the repairperson.

3. A copy of your home inspection report, or at least those pages pertaining to the affected items.

**Residential Warranty Services, Inc.**

PO Box 797  
Carmel, IN 46082  
800-544-8156  
Fax 877-307-7056  
90day@rwsarranty.com

**Deductible**

The policy holder is responsible for the first \$300 worth of repairs and investigation of any covered issue. Any and all receipts and invoices must be delivered at time of claim submission to ensure credit for any covered expenditures. The policy holder is also responsible for any costs exceeding the coverage limitations of \$2000 per occurrence and \$4000 aggregate.

Rev. 05/18

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## MOLD|SAFE



### Term

MoldSafe protection is offered for a period of 90 days following the date of the inspection, or 22 days after closing, whichever comes later. All claims must be received by RWS within the term of the agreement. An extension of coverage may be made available at a nominal fee at the conclusion of this agreement. This agreement is not transferable to any other property outside of the one listed on your home inspection report.

### Coverage

During the agreement term, the following conditions are covered:

1. New visible mold- During the course of your home inspection and in your home inspection report, if there were no visible mold or moisture issues reported, this agreement covers the remediation (removal) of visible mold on surfaces permanently installed in the subject property.

### Covered Repairs

This agreement covers only repairs as specified and excludes all others. Coverage is limited to \$2000 in aggregate. Only new visible mold growth that occurs after the date of the inspection is covered. This agreement does not cover repairs to components that need to be replaced but rather just covers their removal. Many surfaces can be treated and cleaned without such removal. This policy does not cover mold resulting from insurable events including but not limited to floods, rain/water intrusion, or any other peril. This is not homeowner's insurance policy.

### Exclusions

RWS will not be responsible for any of the following;

- Repairing anything that occurred before the start date of this agreement.
- Repairing anything that wasn't reported to RWS during the term of this agreement.
- Repairing anything caused by you and/or third parties.
- Repairing anything in a home that is being renovated.
- Repairing anything caused by natural acts or disasters included but not limited to floods, landslides, sinkholes, plumbing line breakages, or any insurable cause.
- Repairing anything required by any other party (city, state, federal, or other party) unless otherwise covered by this agreement.
- Repairing any openings or damage caused to walls or floors as a result of investigation or repair of a covered issue.

h. Any and all medical issues related to mold, mildew, or any other organic growth.

### RWS' Right to Review

RWS reserves the right to have its own contractor review any diagnosis, estimate, and bid on any project covered under this agreement. RWS shall choose the acceptable estimate in its sole discretion for coverage. This warranty and all related disputes shall be interpreted and enforced in accordance with the laws of Hamilton County in the State of Indiana without reference to, and regardless of, any applicable choice or conflicts of laws principles.

### Claim Procedures

Written notification of claim including items 1, 2, and 3 must be received by RWS prior to the expiration of the policy. All claims on this policy shall be made by the buyer of record only after they have taken possession of the home and must be received within 90 days of the inspection or within 22 days of closing, whichever comes later. Claims will be processed after we are in receipt of items 1, 2 & 3. You will be contacted within 72 business hours of all items being submitted.

1. Written Notification of Claim - The following information must be contained in the notification:

- Your Name
- Your Inspection Company's Name
- A Phone Number Where You Can Be Reached
- A Brief Description of the Claim

2. An itemized repair estimate, including the breakdown of parts & labor, as well as a specific cause for the mold growth in writing from a duly licensed professional. RWS reserves the right to request up to two (2) additional estimates. The estimate must include contact information for the repairperson.

3. A copy of your home inspection report and any mold tests.

### Residential Warranty Services, Inc.

PO Box 797  
Carmel, IN 46082  
800-544-8156  
Fax 877-307-7056  
90day@rws warranty.com

### Deductible

The policy holder is responsible for the first \$300 worth of repairs and investigation of any covered issue. Any and all receipts and invoices must be delivered at time of claim submission to ensure credit for any covered expenditures. The policy holder is also responsible for any costs exceeding the coverage limitations of \$2000.00.



# APPENDIX

175 Some Street, Any Town, NC February 8, 2022

Report No. 6580

<https://www.blackcatinspectionservices.com>

SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
MOLD	RECALLS	SITE INFO	APPENDIX	REFERENCE					

**WAIT!**  
**WE WILL SAVE**  
**YOU MONEY!**  
**WAIT TO ORDER YOUR ALARM**  
**MONITORING SYSTEM UNTIL**  
**== YOU TALK TO US. ==**

You used the right inspection company- and we hope you will refer any family or friends in the market to purchase a home to your agent and our inspection company. By the way, if you're planning on getting an alarm system, WAIT!!! Did you know that you get special offers NOT available to the general public? That's right- you may get a call from us in the next month or so to set up your new system at rates you won't find anywhere else- GUARANTEED.

Including offers involving free systems, monitoring rates as low as \$34.99, and features you won't find anywhere else like video monitoring from your smart phone. Don't miss out! If you need to get an alarm system before we reach out to you, give us a call at 1-800-544-8156. You'll get discounts on your homeowner's insurance, a system from one of the leading brands of hard wired or cellular based alarm systems, and a deal that makes it a NO BRAINER.

**CALL US AT**

**800.544.8156**

**OR WAIT FOR US TO CALL YOU!**

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This service contract covers repairs for leaks only. Any defect noted in your home inspection or any consequential leak resulting from a defect noted in your inspection is not covered. If your inspector noted damage, leaks, improper installation, or worn materials, it is the responsibility of the home owner to remedy these conditions. This is not a policy of insurance, and as such consequential damage from a leak is not covered. Damage from any peril (fire, flood, lightning, vandalism, etc.) is not covered by this policy and should be reported to your homeowner's insurance company. Repairs necessary as the result of abuse, neglect, or lack of maintenance are not covered by this policy.

A deductible of \$500 applies to any roof leak claim. Should the actual cost of repair be less than \$500, the home owner shall pay the lower amount. Repairs completed under this policy, after the deductible has been satisfied, are guaranteed for the remainder of the term of this policy. Leak repairs shall be covered only when the cause of the leak is normal wear and tear or deterioration. The aggregate limit of this policy for the 5 year period is \$3000.00. Home owner is responsible for the cost of replacing roof coverings when needed. On any claim payment to the home owner can be requested in lieu of payment to a service provider, which may be a prudent choice especially when a roof replacement is being considered.

This policy was delivered to the home owner free of charge by their home inspector. The policy is serviced by Residential Warranty Services, Inc.(RWS) with its principal offices located in Carmel, Indiana. Any action, including complaints, legal disputes, or compliance requests, shall be made in Hamilton County, in the State of Indiana. This policy is non-transferable.\* It shall be used only for the benefit of the purchaser of the property as listed on the home inspection report and only for the subject property of that report.

## MAKING A CLAIM

Prior to the date on which this policy expires, which is the same date as the inspection 5 calendar years later, RWS must receive written notification of your claim. Simply call 1-800-544-8156 for instructions or send your claim, including a brief summary of the condition, your name, your full address, a phone number you can be reached at, a copy of your home inspection, and a written diagnosis and an itemized estimate which includes the breakdown of parts and labor from a qualified roofing contractor to:

**Residential Warranty Services, Inc., P.O. Box 797, Carmel, IN 46082**

Claims can also be faxed to 877-307-7056 or emailed to [90day@rswarranty.com](mailto:90day@rswarranty.com)

\*Policy is transferable to the buyer with a pre-listing inspection.





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Your home inspection is our  
**opportunity to shine.**



We are committed to raising the standards of your home inspection.  
That's why we offer **FREE RecallCheks** for your home appliances with every inspection we do.

**RecallChek** is the first service for consumer recalls in the United States and has compiled over 205 million recalls from public records, to create a fail-safe system to check for dangerous flaws with home appliances.

If a manufacturer designs a dangerous product, they **MUST** recall that item and fix it free of charge! RecallChek will provide the information to resolve any potential recall issues promptly.



Chris D. Hilton Home/Building Inspections  
(336) 816-7756  
[www.chrisdhilton.com](http://www.chrisdhilton.com)  
NC 1069

## How it works:

- ✓ Your home inspector records the model numbers of your built-in home appliances and HVAC systems.
- ✓ The Model Number Algorithm (MNA) matches your appliances against the RecallChek database of recalled items.
- ✓ RecallChek issues a report, separate from the home inspection report. This report is emailed directly to you.
- ✓ This service is intended to provide homeowners with valuable information on how to receive **FREE** repairs from manufacturers in the event a recalled appliance is found. This service is not meant to be used in the inspection response process.

**RecallChek** 

A service provided by Residential Warranty Services



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175 Some Street, Any Town, NC February 8, 2022

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**If a manufacturer designs a dangerous product, they  
MUST recall that item and fix it *free of charge!***

## Recall Protection for Life.

Recalled Appliances are found in one in every ten homes.

By submitting the make and model numbers from your home's appliances, furnaces, air conditioners, and water heaters- you are ensuring that you not only get the free repairs that are owed to you now, but that you are also informed immediately if any of your home's appliances are affected by a recall in the future.



Chris D. Hilton Home/Building Inspections  
(336) 816-7756  
[www.chrisdhilton.com](http://www.chrisdhilton.com)  
NC 1069

If you don't receive your report or if you have any questions please call 1-800-544-8156 or email us at [reports@recallchek.com](mailto:reports@recallchek.com)

**RecallChek®**  
A service provided by Residential Warranty Services

# REFERENCE LIBRARY

175 Some Street, Any Town, NC February 8, 2022

Report No. 6580

<https://www.blackcatinspectionservices.com>

SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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The links below connect you to a series of documents that will help you understand your home and how it works. These are in addition to links attached to specific items in the report.

Click on any link to read about that system.

» 01. ROOFING, FLASHINGS AND CHIMNEYS

» 02. EXTERIOR

» 03. STRUCTURE

» 04. ELECTRICAL

» 05. HEATING

» 06. COOLING/HEAT PUMPS

» 07. INSULATION

» 08. PLUMBING

» 09. INTERIOR

» 10. APPLIANCES

» 11. LIFE CYCLES AND COSTS

» 12. SUPPLEMENTARY

Asbestos

Radon

Urea Formaldehyde Foam Insulation (UFFI)

Lead

Carbon Monoxide

Mold

Household Pests

Termites and Carpenter Ants

» 13. HOME SET-UP AND MAINTENANCE

» 14. MORE ABOUT HOME INSPECTIONS